

The City of Auburn
Historic Resources Review Board

*c/o Office Planning & Economic Development
Memorial City Hall - 24 South Street
Auburn, New York 13021
(315) 255-4115*

Meeting Notice:

7:00 P.M. – Tuesday May 14, 2013
Memorial City Hall – 1st Floor Council Caucus Room
24 South Street Auburn, New York

Meeting Agenda:

- 1) Approval of the April 8, 2013 Meetings Minutes**
- 2) Certificate(s) of Appropriateness**
 - a. Mr. Michael Calarco- 9 Grover Street**

Application for addition to residential structure for a new enclosed porch on the rear of the residence. Existing rear porch has been demolished. Construction will consist of a new 14' x 26' enclosed porch with wood clapboard exterior, architectural style asphalt shingles and vinyl windows.
 - b. Mr. Kevin and Elizabeth Hoey- 6 Fitch Avenue**

Application for general exterior repair to the existing front porch columns and brick stoop. Proposed project will entail the replacement of the existing 4 wood fluted columns with new fiberglass columns of similar proportions. The existing brick stoop will be removed and replaced with concrete pavers.
 - c. Westminster Manor (Cayuga-Syracuse Home of the Elderly)**

Application for general exterior repair to several concrete ramps and entranceways. Installation of new 12' x 14' concrete pad at rear of facilities. Install new 2' x 45' concrete sidewalk from administration bldg. to driveway.
 - d. Mr. Gerry Sholte- 15 Grover Street (staff issued)**

Application for general exterior repairs to clapboard siding, wood window sill and deteriorated soffit trim. All repairs are minor replacement of sections of trim and are of in-kind materials to match existing features.
 - e. Mr. and Mrs. Willis Davis- 137 South Street (staff issued)**

Application for general exterior repair and roofing due to roof leaking and deterioration of the underlayment. Project will entail the removal of existing two (2) layers of asphalt shingles and installation of new 50 year

architectural asphalt shingles. All trim and soffit features to remain and repaired in-kind as needed.

3) Other Matters

- a. National Preservation Month- May 2013- Theme- See! Save! Celebrate!
 - i. 2013 Preservation Award Nominations at Auburn City Council Meeting on May 23rd at 6:00pm.

4) Adjournment

Next meeting scheduled for **Tuesday, June 11, 2013** at 7:00 P.M. at Memorial City Hall- Council Caucus room.

The City of Auburn
Historic Resources Review Board
c/o Office of Planning and Economic Development
Memorial City Hall - 24 South Street
Auburn, New York 13021
(315) 255-4115 Fax 253-0282

Meeting Minutes

April 8, 2013

7:00pm

Present: Michael Deming, Paul McDonald, Ed Onori, Jim Hutchinson, Betty Lewis, Richard Stankus

Absent: David Thurston

Staff Present: Christina Selvek

Meeting opened by Chair, Michael Deming.

Motion to approve minutes of February 12, 2013 meeting made by Jim Hutchinson, seconded by Paul McDonald. All members vote approval. Motion carried.

Certificates of Appropriateness

1. Mr. Gerry Sholte- 29 Grover Street

Application for general exterior renovation/ repair to remove the existing front porch roof, repair or replace deteriorated underlayment and install new Landmark 30-year architectural asphalt shingles. Also proposed is repair in-kind of one rotted porch column.

Christina Selvek introduces application. Board members were supplied photos in packet and at meeting. There is currently a water problem on the roof porch. The applicant would like to use 30 year architectural asphalt shingles to replace/repair porch roof damage.

Board members discuss the porch, roof, and the severity of damage on one (1) porch column. Board members advise applicant to explore possible ice issues with porch.

Jim Hutchinson suggests using cedar wood for the construction of the new post.

Michael Deming recommends David Aicher, a local carpenter who makes posts. He is located on the corner of Washington Street and Seymour Street in Auburn.

Christina Selvek will work with the applicant regarding the water problem, possible ice issue on the porch roof, and the board's recommendation of the porch post.

Motion to accept application for 29 Grover Street made by Ed Onori, seconded by Paul McDonald. All members vote approval. Motion carried.

2. Mr. John L. Wilson- 9 Elizabeth Street

Application for new construction for a 24' x 31' two car garage in the location of the former garage at the rear of the property. Garage will consist of 4" wood clapboard siding, vinyl windows, metal garage doors and GAF Lifetime Warranty Timberline Architectural Asphalt Shingles.

Applicant John Wilson and Barbara Bailey are present to answer any questions regarding the application.

Christina Selvek- presents application to board members. Applicant would like to replace previously existing garage. Applicant provided an aerial image of previous garage structure and a survey map of the footprint. The foot print will be expanded from 24' to 31'. Roofing will be black asphalt and will match house. The 4" wood clapboard siding will be painted to match the house.

Jim Hutchinson questions the garage doors and if there are windows on the doors

John Wilson- The garage doors are metal overhead doors. No windows. There will be windows all the way around the garage. There will be two (2) windows on each side and two (2) on the rear of the structure. There will be six (6) windows total. Windows will be double hung windows.

There was discussion of the roof pitch. Codes required 6/12 pitch for the roof. Applicant felt that was reasonable.

Motion to accept application for 9 Elizabeth Street made by Jim Hutchinson, seconded by Paul McDonald. All members vote approval. Motion carried.

Other Matters

Jim Hutchinson brought up concerns with the garage at 7 Elizabeth Street. It is a safety issue for the neighborhood.

Question was regarding if the property owner is responsible for asbestos and lead testing before demolition?

Christina will follow up with Codes on 7 Elizabeth Street.

Board members believe that 88 Hamilton Street is vacant and condemned. Christina Selvek will follow up.

Wardens house, 67 South Street, recently sold to a couple that have future plans for the home to be a bed and breakfast.

102 South Street, formerly known as "The Rose", recently sold.

Richard Stankus-reports that the water line will be repaired on South Street this summer.

Christina Selvek- May is National Preservation Month and is a time to remind our community how important our historic housing stock and community is. This year's theme is: See! Save! Celebrate!

Richard Stankus- The Auburn Historic District is unique. We should appreciate the people who purchase a single family home in the Historic District and keep it a single family home as well as people who purchase commercial or multifamily properties within the Historic District and return them to single family homes.

Richard Stankus recommended Aaron Lesch-Vonrandall of 107 South Street and Justin Viggiano of 131 South Street.

The board would also like to recommend Logan Loft Apartments and Brister Mills as Historic commercial properties that have impacted neighborhoods.

Christina Selvek will work with property owners and the City Council presentation will be the 2nd week of May, May 9th.

Board members asked if they could honor George for preserving items discarded from historical homes on South Street next year for National Preservation Month.

Richard Stankus- asked if it is appropriate for the Historic Resources Review Board to make any recommendations regarding the Seward House and the sale of the painting or alternatives to removing the painting.

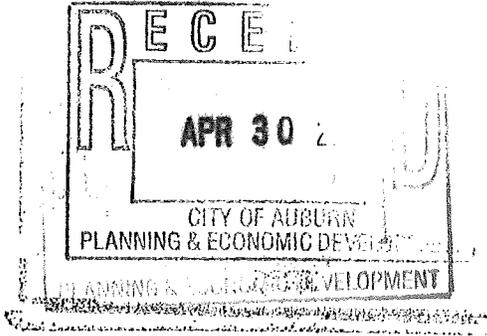
Motion to adjourn made by Richard Stankus and seconded by Jim Hutchinson. Meeting adjourned at 7:45pm

Next meeting scheduled for **Tuesday, May 14, 2013** at 7:00 P.M. at Memorial City Hall- Council Caucus room.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Return completed application and all required materials to:
Office of Planning and Economic Development, 24 South Street, Auburn, NY 13021

Date: 4/30/13
 Property Address: 9 Grover St
 Name of Owner: Michael Calarco
 Mailing Address (if different): _____
 Phone: 315 406 1701
 Name of Business (if applicable): _____
 Name of Agent/Contractor (if applicable): _____
 Address of Agent/Contractor (if applicable): _____



Indicate type of Project: (Please check all that apply)

- | | | |
|---|---|-------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Window or Door Replacement | <input type="checkbox"/> Sign |
| <input checked="" type="checkbox"/> Addition to Structure | <input type="checkbox"/> Roof | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> General Exterior Renovation/Repair | <input type="checkbox"/> Siding | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence | |

Please provide a brief description of the project, noting any and all proposed changes to the exterior of the property (see check list of required materials on reverse and attached information to the application):

removal of damaged porch and addition of new back room.
New room to be erected on 6x6 poles attached to concrete
tubes 1' x 4'. All paint and roofing to match existing
structure.

This application cannot be processed for review unless all of the applicable items are submitted to the Office of Planning and Economic Development (OPED) by the **application deadline – NOON on the Wednesday** preceding the scheduled meeting. Unless otherwise notified, **Regular meetings of the Historic Resources Review Board (HRRB) occur at 7:00 PM on the second Tuesday** of each month at 24 South Street. Applicants are strongly encouraged to attend. Work on projects requiring HRRB approval shall not be started until the Owner or Agent/Contractor have obtained a Certificate of Appropriateness (C/A) and all required permits. It is the responsibility of the Owner to obtain all required permits. Changes to approved plans cannot be made without additional HRRB review. A request for changes to a previously approved C/A must be made in writing to the HRRB by the application deadline, along with any necessary plans. **BY SIGNING BELOW YOU ACKNOWLEDGE AND AGREE TO THESE CONDITIONS.**

Signature of Owner:

For Office Use Only: **Certificate of Appropriateness**
 Approved as submitted
 Approved with changes/conditions
 Denied

Checklist of required information for projects before your application can be reviewed – **Please refer to your type of project and attach the required information to this application.** Applications are due no later than noon on the Wednesday before the scheduled meeting. For assistance call (315) 255-4115

New Construction

- Map or survey of property indicating the location of the proposed structure
- Drawings, to scale, of all elevations; sizes and styles of windows and doors must be indicated on drawings
- Exterior specifications – list and described all visible materials, siding, roofing, etc.... on or attached to drawings
- Colors to be used w/ placement
- Lighting and signage details (if applicable)

Addition to a structure

- Map or survey of property indicating the location of the proposed addition
- Drawings, to scale, of addition including the existing building;
- Photographs of the building, all elevations affected by the addition
- Sizes and styles of windows and doors must be indicated on drawings; indicate which are proposed, original, and replacement
- Materials and colors to be used must be listed on drawings

General Exterior Renovations/Repairs

- Provide a detailed description of project with drawings and photographs of elevations
- List of any and all building elements affected
- Existing and proposed colors and material
- Include samples and/or manufacture's product information sheet where applicable

Replacement of Windows or Doors

- Size and style of existing and proposed window(s) or door(s); indicate width and height
- Scaled drawings or photographs of affected elevations
- Materials and colors; include the manufacture's product information sheet

Roof

- Existing roof type, materials and colors
- Proposed materials and colors, provide manufacture's product information sheet or sample
- Photographs of building
- If emergency situation, photographs of roof or evidence of damage

Siding

- Type of siding, smooth or textured, provide sample of siding
- Reveal of existing and proposed siding
- How will the building be prepared for siding? How will the trim be treated?
- Photographs of building

Fence

- Include map of property indicating existing fence, if any, and location of proposed fence
- Style (picket, board on board, etc.) – include drawing or picture of style with dimensions
- Height, material, and color
- Photographs of area showing where the fence is to be installed

Signs

- Detailed drawings of sign, drawn to scale – include dimensions, letter style and any graphics
- Include map of property indicating existing signage and placement of proposed signage
- Colors, materials, and any lighting to be used
- Photographs showing where the sign is to be placed

Demolition

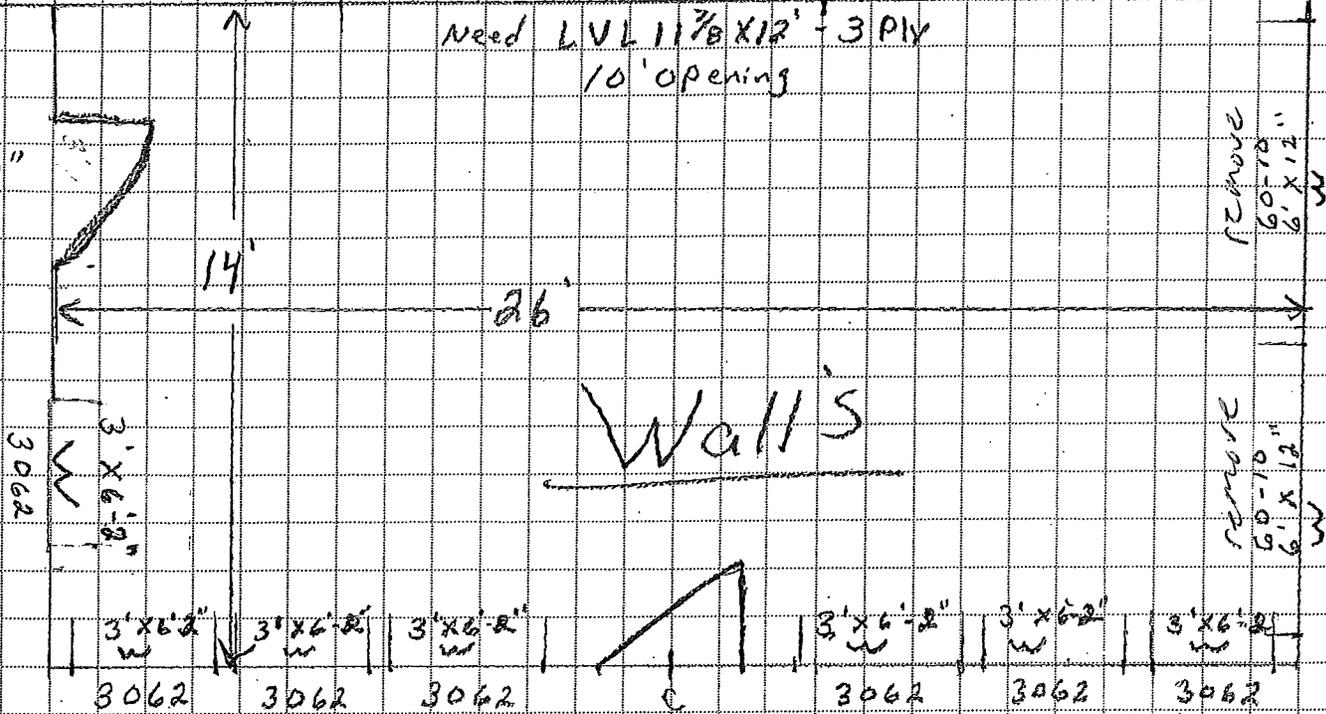
- Photographs of existing building; include all elevations and wide shots showing building relationship to neighboring structures
- Detailed description of what will replace demolished structure, in anything (see New Construction above)
- Reasons for demolition, including emergency/health/safety issues or court orders

Other

- Provide details of project (e.g. installation of pool, alterations to landscape/site, etc.) – call to ask which details will be required for individual projects

House
Remove wall
Need LVL 11⁷/₈ X 12' - 3ply
10' opening

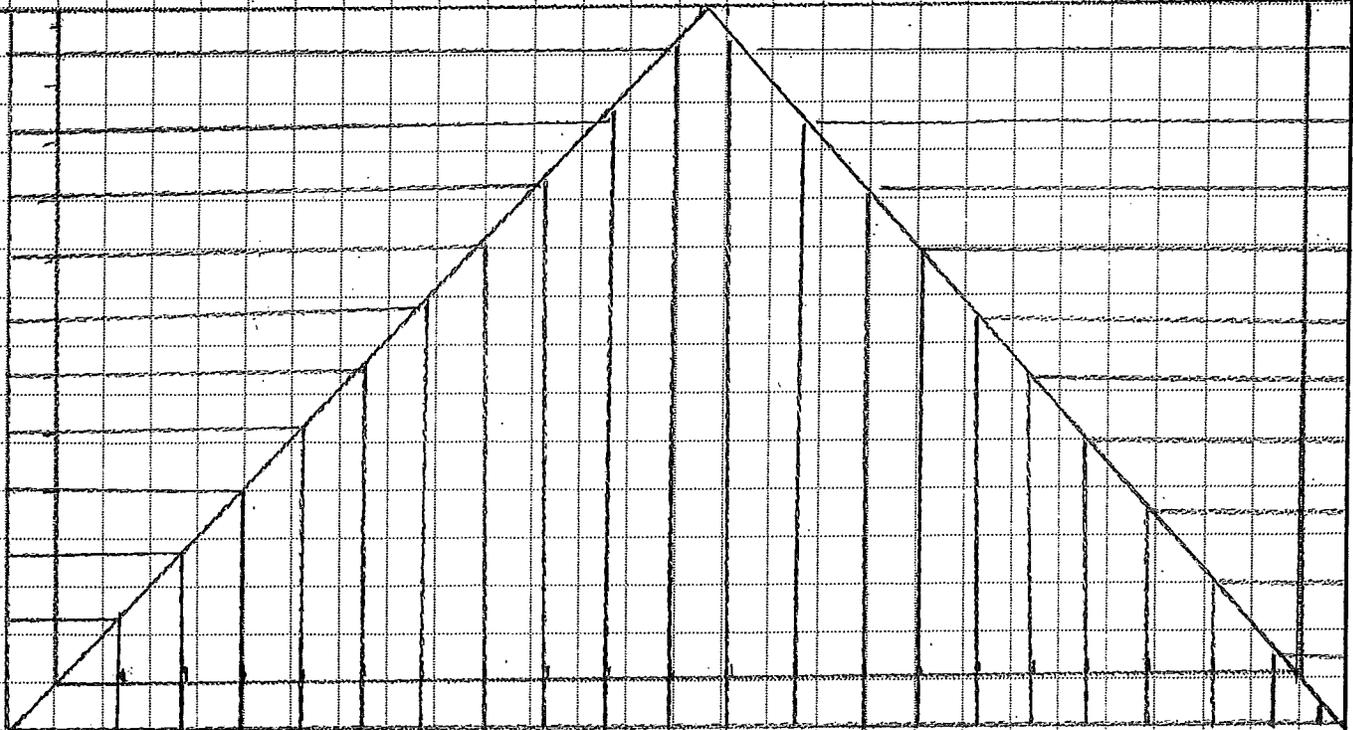
S12B
3'x6'-8"
Door



Wall's

6x6 Post
268pc - Studing
3 - on Bottom Foundation

S128-3'-6'-8"
Door



Hip-Roof
3/12

Roof

RUSS SHORT
Cell# 315-246-2742

26 W. BAYARD STREET
SENECA FALLS, NY

JOB Mike Calarco

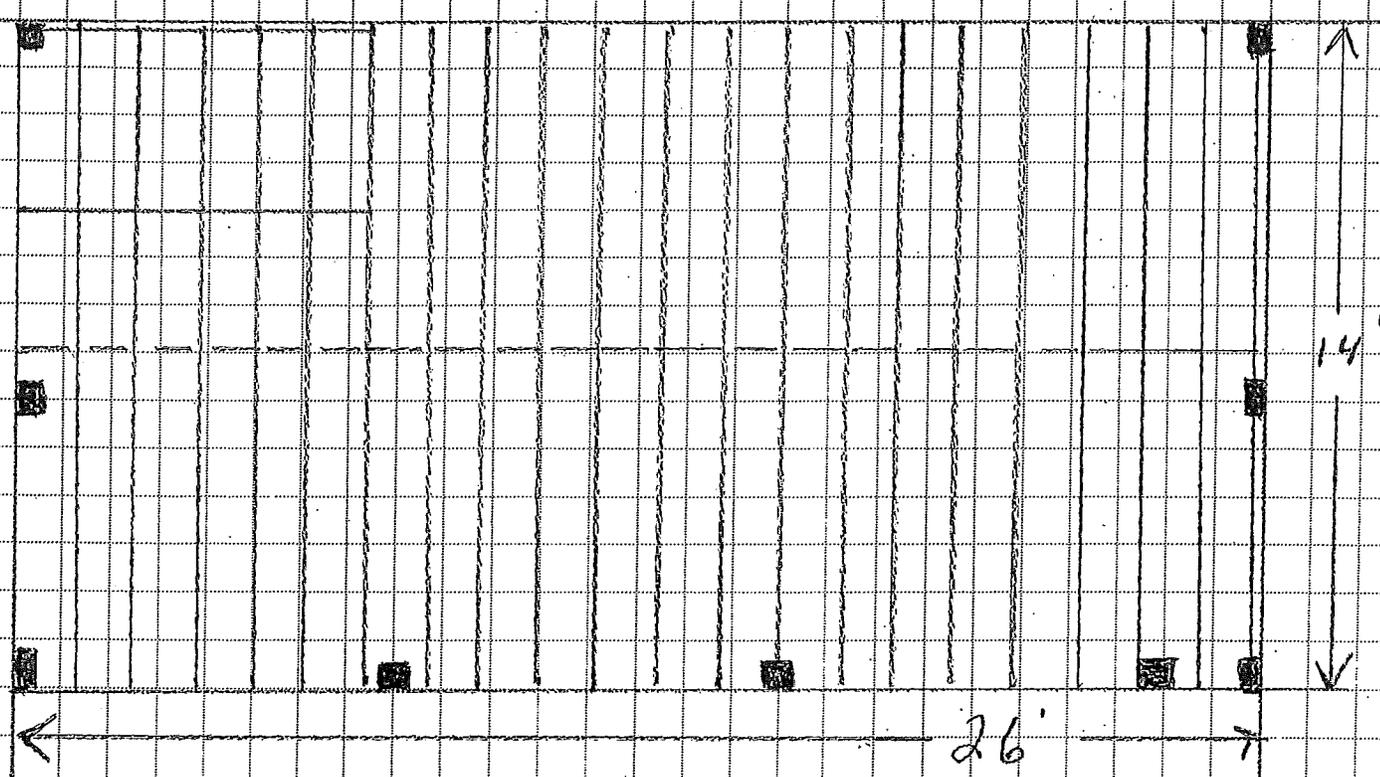
SHEET NO. _____ OF _____

CALCULATED BY Russ DATE _____

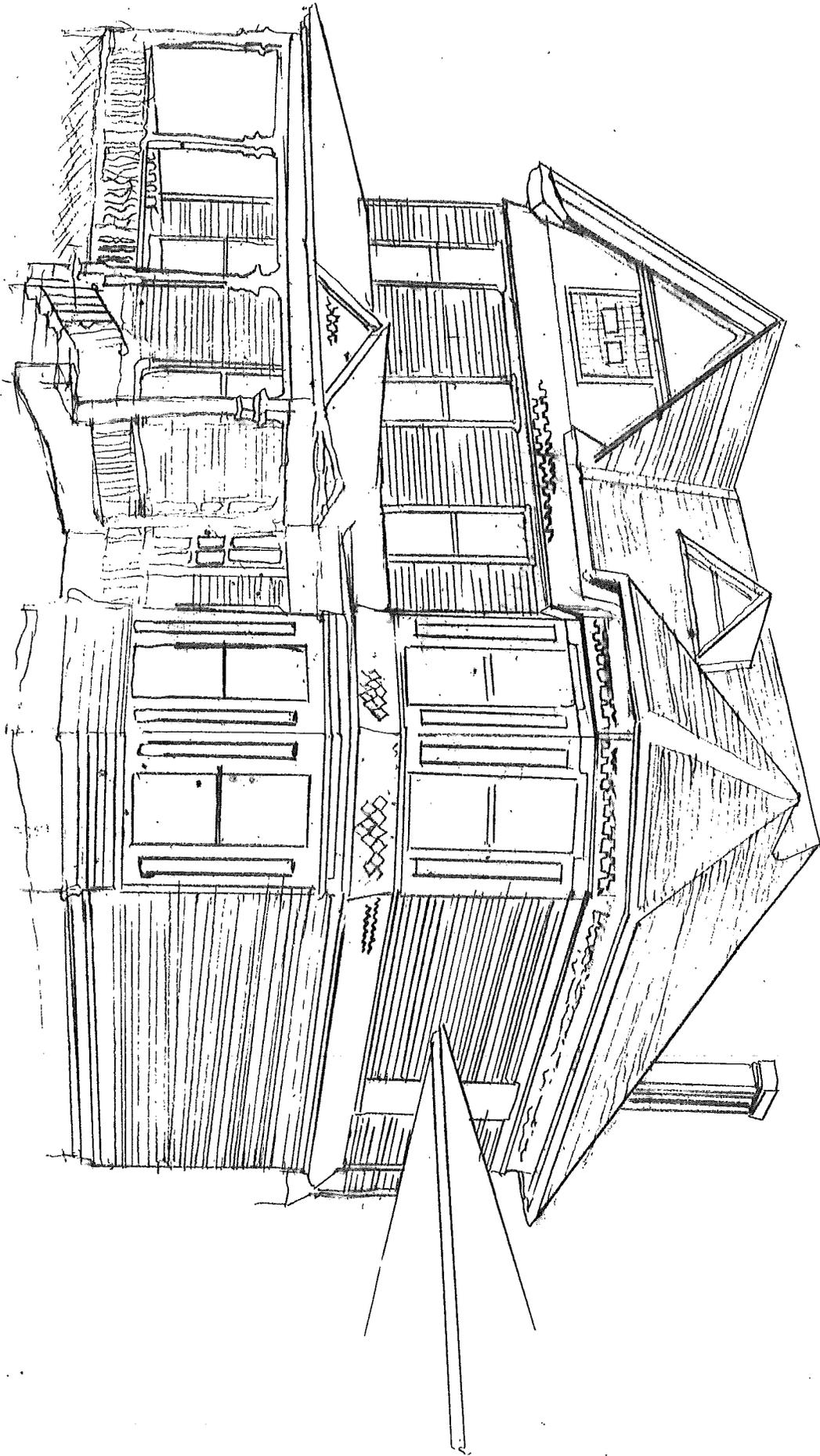
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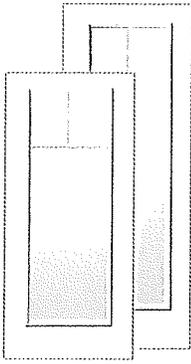
SCALE _____

House



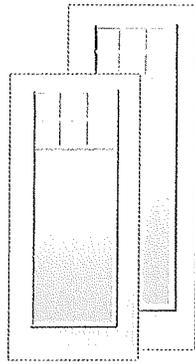
Floor





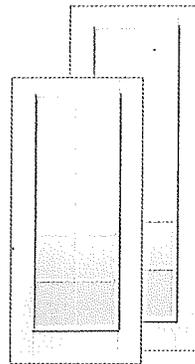
S3000F-4C ■
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 3'0" x 6'8" ▲

S83000F-4C ■
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S3000F-6C ■
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S83000F-6C ■
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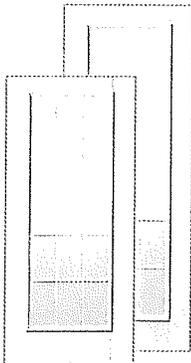


S128
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S828
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S141
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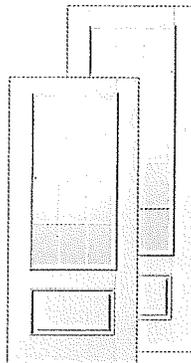


S108/S6063 ■
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 3'0" x 6'8" ▲

S808
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 2'8" x 8'0" ▲
 2'10" x 8'0" ▲
 3'0" x 8'0" ▲

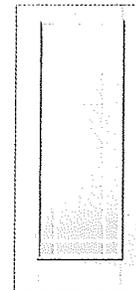


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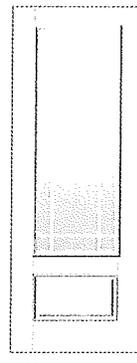


S92
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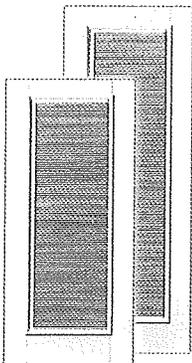
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S198/S6062 ■
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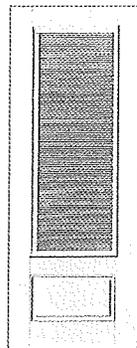


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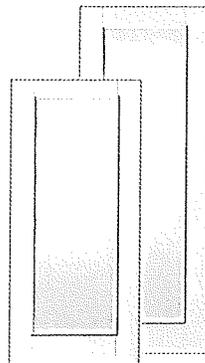


S130/S6061 ■
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 Internal Blinds

S829
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 2'10" x 8'0" ▲
 3'0" x 8'0" ▲
 Internal Blinds

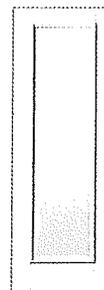


S901
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 3'0" x 8'0" ▲
 Internal Blinds

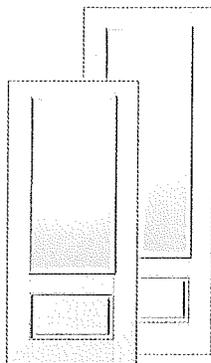


S118
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S818
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S140
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 2'10" x 6'8" ●▲
 3'0" x 6'8" ▲



S90
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 2'10" x 6'8" ▲
 3'0" x 6'8" ▲

S880
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 2'10" x 8'0" ▲
 3'0" x 8'0" ▲

Options Key

- ◆ Turtle Glass
- ▽ External Lite Dividers (ELD)*
- ◆ Flat White Grilles Between Glass (GBG-F)

- ◆ Flat or Contoured White Grilles Between Glass (GBG-FL)
- Removable Wood Grilles (RG)
- ◆ Low-E Glass (LE)

- 6 WBDR / HVHZ**
- ▲ 6'6" Height Available

Features Key

- ▲ Flush-Glazed Glass (FG)
- ▽ PVC Doorlite Frame***
- No Stile Lines
- 6' Retrofit Patio Doors
- ▲ 5' Retrofit Patio Doors



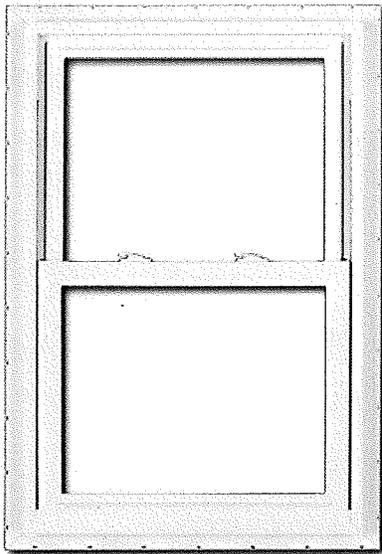
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Vinyl Double Hung New Construction Window

Created to meet an impressive R-50 performance rating, the Master Series Double Hung is teeming with features that will make your new home more beautiful, comfortable and energy efficient.

- Fully interlocking meeting rail provides a tight seal against weather penetration
- Unique sill design that forces water away from your home
- Lift rail molded into the sash for greater stability
- Sash raise and lower with ease

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Strength and curb appeal define the Master series. An impressive R-50 performance rating, an attractive beveled frame and advanced glass options make this the perfect choice for your new home.

- An across-the-line R-50 performance rating makes Master series ideal for use with storm shutters
- The standard Intercept® spacer system helps save energy costs, while the optional ProSolar® Low E glass package delivers excellent thermal performance
- A complete selection of styles allows you to choose the ideal combination
- White, tan and driftwood colors are available, along with a wide choice of glass and grid options

All features and options not available on all styles

Styles Available in the ProFinish Master Series

Lifetime Limited Warranty

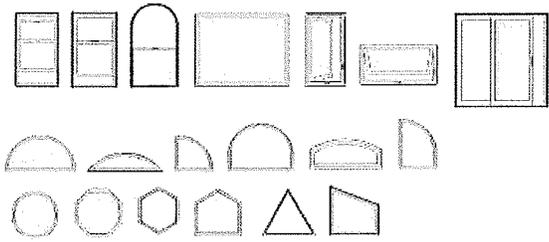
For homeowner peace of mind, ProFinish® Master windows and doors feature a Lifetime Limited Warranty on vinyl and a 20-year warranty on hardware, screens and glass.

ENERGY STAR



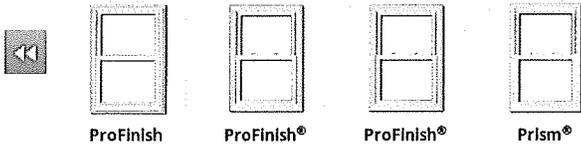
No matter where you live, Simonton windows and doors can be ordered to meet ENERGY STAR guidelines for any region of the country. Helping reduce your heating and cooling costs and meet the guidelines set by the EPA and US Department of Energy.

AAMA



Thanks to AAMA Gold Certification, you can be sure Simonton windows and doors meet the highest performance standards for air and water infiltration resistance, structural integrity and forced entries.

Related by Style: Double Hung



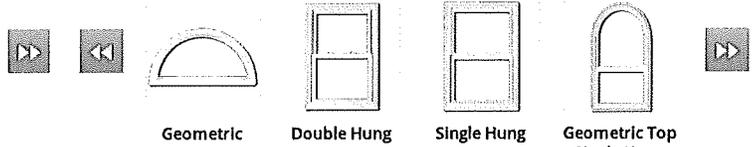
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Double Hung

Single Hung

Geometric Top Single Hung



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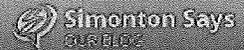
- WARRANTY
- TECHNICAL BULLETINS
- INSTALLATION INSTRUCTIONS
- HELPFUL LINKS
- HOW-TO VIDEOS
- PRODUCT CARE

FOR THE PROS

- PRODUCT FINDER
- ARCHITECTURAL DETAILS
- AAMA GOLD CERTIFICATION
- R-5 WINDOWS
- PRONETWORK
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- COASTAL PRODUCTS
- SIMONTON U
- PRONETWORK
- ADBUILDER
- SIMONTON ONLINE
- COMPANY STORE

COMPANY

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- OUR HISTORY
- FORTUNE BRANDS FAMILY
- IN THE COMMUNITY
- IN THE SPOTLIGHT
- CAREERS
- NEWSROOM
- IMAGE GALLERY
- CONTACT US



NO	* Roy Charcoal = 2	Ridge Caps	Colbase = 84
NO	* 5x7 Perc = 1	Step Flashing	Colcase = 226 window casing
Hum 1450 = 1	* Alum 1410 = 1		168 = 24 Ext Jambs
	Housewrap = 1		4 Step = 6
	VFR white = 5		54GBT = 12
	55CV = 5		28BT = 4 Riser stair
	6Fasw = 5		44B = 4 Lambo = 12
	737527 = 1	Trim Nails	4410 = 4 248T = 12
	340C Cactus = 2		Gravel = 4 Greywall = 8
	34J white = 14		22T = 28 231916 = 2 lock set
	VSS = 4		2 Plus = 5 pounds Diamond = 12
	WCactus = 4		2414T = 4 Misc = 1 \$ 275.00
"	3 NVCactus = 10		2416T = 4

Simonton Profinish Contractor Series

* 7-1 = 6	3062 = 7	D-H Low-e Fullscreen Tan	\$ 321.11 each
Total	6010 = 2	Fix unit Low-e w/Grills Tan	\$ 190.13 ⁰⁰
	S128 LEW 3060 with Grills	Smooth Star Door unit	
	= 2	\$ 435.78 each	w/6 9/16 Jambs - D16 Bare.
	3566036 = 2	white Full View Storm Door.	
	4812SR = 18	wall's	
	41612SR = 6	ceiling	
	616HD = 8	R-21 walls	58.8 sqft
	1216K = 9	R-38 ceiling	- 42.67 sqft
	Baffles = 30		
	264573 = 1	250' Drywall Tape	

- Pounds	US9 = 5		
*	114scr = 10 pounds		
	301890 = 3	3/8 small Box Staples	
	S16D = 1	Framing Nails	
	S8D = 1	Sheathing Nails	
	361550 = 1	Coil 1 1/4 Roofing nail	
	112RS = 2	1 1/2 Siding nail	

New = 12-22-12

Mike Calarco 14'x26'x8' Room

12-8-12

12 Tube = 9 - 668 = 9 Post

12-22-12

Gravel = 60

122025 = 9 6x6 Anchors 23060 = 2 - Screw ^{T-30} Tip's

21216 = 2 R-J 4 RSS = 60 Log ^{Gold} Screws

21214 = 22 F-J - 16" o/c - 121983 = 20 2x12 Hanger

2128 = 2 R-J 319945 = 1 Joist Nails for Gum

101080 = 42 Bridging 715257 = 2 " "

1056 = 4 Sub Floor Glue

34T6A = 12 Sub Floor

916K = 7 Floor Insulation 53.33 sqft

2614 = 6 T-B Plate

2616 = 5 T-B Plate

268PC = 60 Studing - 16" o/c

21012 = 10 window-Door Header Shed Roof

48716 WAF = 15 wall Sheathing

LVL 1112 = 3 3PLY Beam Between Room's 10' opening

NO * 21224 = 2 Ridge Pole for Hip's 21216 = 22 Rafter

NO * 21216 = 8 Rafter 21214 = 2 Ledger Board on House

NO * 21214 = 8 " "

NO * 21212 = 8 " "

NO * 21210 = 8 " "

NO * 2128 = 8 " "

2616 = 2 Sub Fascia

2614 = 20 " " " - Ceiling Joist

248 = 12 Misc Bracing

58 CDX = 15 Roof Sheathing

58 clips = 50 5/8 Plywood Clips

Ice water = 1

Felt = 1

Big Drip = 6

30 Sablewood = 15

← OVER →





APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Return completed application and all required materials to:
Office of Planning and Economic Development, 24 South Street, Auburn, NY 13021

Date: 5/8/13

Property Address: 6 FITCH AVE.

Name of Owner: KEVIN + ELIZABETH HOEY

Mailing Address (if different): _____

Phone: 315 415 0351

Name of Business (if applicable): _____

Name of Agent/Contractor (if applicable): _____

Address of Agent/Contractor (if applicable): _____

Indicate type of Project: (Please check all that apply)

- | | | |
|--|---|-------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Window or Door Replacement | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Addition to Structure | <input type="checkbox"/> Roof | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> General Exterior Renovation/Repair | <input type="checkbox"/> Siding | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence | |

Please provide a brief description of the project, noting any and all proposed changes to the exterior of the property (see check list of required materials on reverse and attached information to the application):

REPLACE FRONT PORCH OUTBOARD COLUMNS WITH NEW COLUMNS - SAMPLE OF POLY FLUTED COLUMN INCLUDED

REPLACE FRONT PORCH BRICK STOOP W/ COMBINATION CONCRETE/PAVERS

This application cannot be processed for review unless all of the applicable items are submitted to the Office of Planning and Economic Development (OPED) by the **application deadline - NOON on the Wednesday** preceding the scheduled meeting. Unless otherwise notified, **Regular meetings of the Historic Resources Review Board (HRRB) occur at 7:00 PM on the second Tuesday** of each month at 24 South Street. Applicants are strongly encouraged to attend. Work on projects requiring HRRB approval shall not be started until the Owner or Agent/Contractor have obtained a Certificate of Appropriateness (C/A) and all required permits. It is the responsibility of the Owner to obtain all required permits. Changes to approved plans cannot be made without additional HRRB review. A request for changes to a previously approved C/A must be made in writing to the HRRB by the application deadline, along with any necessary plans. **BY SIGNING BELOW YOU ACKNOWLEDGE AND AGREE TO THESE CONDITIONS.**

Signature of Owner: *K. M. Hoey*

- For Office Use Only: **Certificate of Appropriateness**
- Approved as submitted
 - Approved with changes/conditions
 - Denied











TRANSFORMING STRUCTURES WITH POLY-CLASSIC® COLUMNS

Turncraft Poly-Classic® Columns are the product of choice for homeowners and builders who demand beauty, value, and performance. Poly-Classic® Columns are architecturally proportioned from rotocast fiberglass-reinforced polymer — the most advanced construction material in the world — so pound for pound they are stronger than concrete, steel, or aluminum.

BEAUTIFUL YET PRACTICAL

With the feel and durability of natural stone, Poly-Classic® Columns are available in popular tapered and non-tapered shafts that feature concise edges and meticulous attention to detail. Their hollow centers are useful as channels for downspouts, wiring, and plumbing, yet Poly-Classic® Columns offer maximum load-bearing capacities and substantial resistance to deformation.

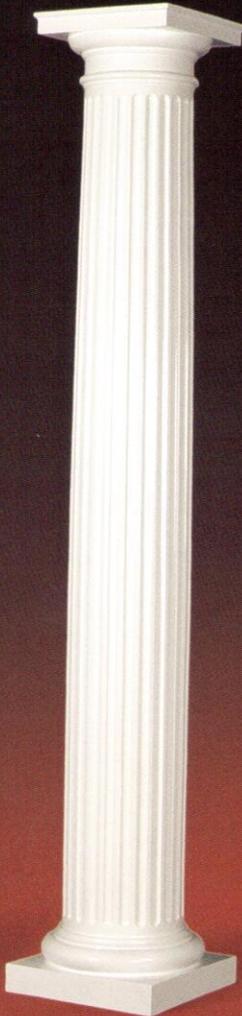
FREEDOM FROM MAINTENANCE— FOR LIFE!

Poly-Classic® Columns are virtually maintenance-free. They are impervious to termite and carpenter ant attack as well as staining and decaying fungi. High-humidity environments have no effect on these non-porous, waterproof columns. All Turncraft Poly-Classic® Columns are covered by a Limited Lifetime Warranty to the original purchaser. Warranty details are available from your distributor or our web site www.Turncraft.com.

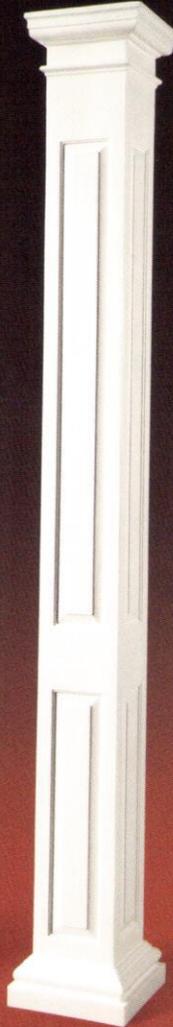
**Poly-Classic®
Tuscan Tapered
Round**



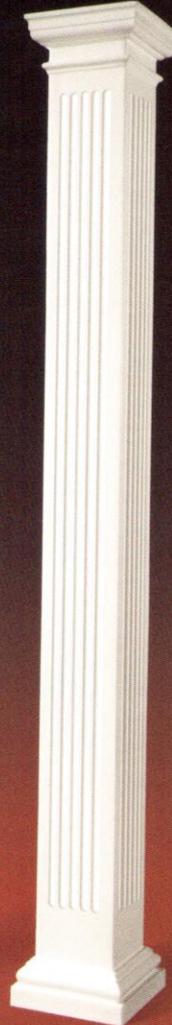
**Poly-Classic®
Tuscan Tapered
Fluted**



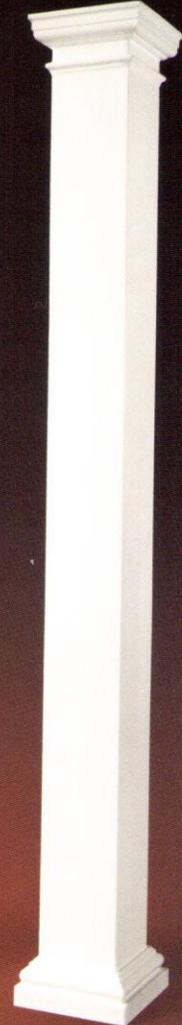
**Poly-Classic®
Paneled
Non-Tapered
Square**



**Poly-Classic®
Fluted
Non-Tapered
Square**



**Poly-Classic®
Unfluted
Non-Tapered
Square**



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Return completed application and all required materials to:
Office of Planning and Economic Development, 24 South Street, Auburn, NY 13021

Date: 5/8/13

Property Address: 81 SOUTH ST Auburn, NY 13021

Name of Owner: WESTMINSTER MANOR

Mailing Address (if different): _____

Phone: 315-252-0507

Name of Business (if applicable): dba WESTMINSTER MANOR, Cayuga - Syracuse HOME OF THE ELDERLY

Name of Agent/Contractor (if applicable): GARY DENMAN

Address of Agent/Contractor (if applicable): 2739 BOSTON RD Venice Center, NY 13147

Indicate type of Project: (Please check all that apply)

- | | | |
|--|---|-------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Window or Door Replacement | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Addition to Structure | <input type="checkbox"/> Roof | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> General Exterior Renovation/Repair | <input type="checkbox"/> Siding | <input type="checkbox"/> Other |
| | <input type="checkbox"/> Fence | |

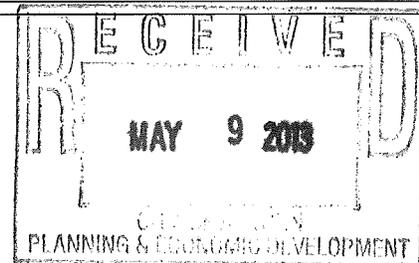
Please provide a brief description of the project, noting any and all proposed changes to the exterior of the property (see check list of required materials on reverse and attached information to the application):

Cement replacement, block replacement & repairs. 1. Replace cement pad
2. Replace Entrance pad 3. Replace ramp & repair blocks
4. Replace sidewalk & steps 5. New 12x14 cement pad
6. Repair Entrance steps 7. New cement sidewalk 2' x 45'
8 Misc. patching & repairs
* Have away old cement

This application cannot be processed for review unless all of the applicable items are submitted to the Office of Planning and Economic Development (OPED) by the **application deadline – NOON on the Wednesday** preceding the scheduled meeting. Unless otherwise notified, **Regular meetings of the Historic Resources Review Board (HRRB) occur at 7:00 PM on the second Tuesday** of each month at 24 South Street. Applicants are strongly encouraged to attend. Work on projects requiring HRRB approval shall not be started until the Owner or Agent/Contractor have obtained a Certificate of Appropriateness (C/A) and all required permits. It is the responsibility of the Owner to obtain all required permits. Changes to approved plans cannot be made without additional HRRB review. A request for changes to a previously approved C/A must be made in writing to the HRRB by the application deadline, along with any necessary plans. **BY SIGNING BELOW YOU ACKNOWLEDGE AND AGREE TO THESE CONDITIONS.**

Signature of Owner: John A. [Signature], Executive Director

- For Office Use Only: **Certificate of Appropriateness**
- Approved as submitted
 - Approved with changes/conditions
 - Denied





Gary Denman Masonry

Cell, 224-5243

2739 Booth Road

Venice Center, NY 13147

Phone (315) 497-1006

Stonework, Chimneys, Tile, Basements

Rock 246-1324

Proposal

Page # _____ of _____ pages

Gary Denman Masonry 497-1006

2739 Booth Rd

Venice Center N.Y. 13147-3161

Proposal Submitted To: <i>West Master Manor</i>	Job Name	Job #
Address <i>81 South St.</i>	Job Location	
<i>Auburn N.Y.</i>	Date	Date of Plans
Phone #	Fax #	Architect

We hereby submit specifications and estimates for:

Cement replacement, block replacement & repairs to Block & cement.

- | | |
|---|------------|
| ① Replace cement Pad. | \$1,010 |
| ② Replace Entrance Pal. | 940 |
| ③ Replace Ramp & repair blocks | 1,665 |
| ④ Replace Sidewalk & Steps | 1,825 |
| ⑤ New 12'x14' Pad (Cement) | 675 |
| ⑥ Repair Entrance Steps | 250 |
| ⑦ New cement sidewalk 2'x45' | 455 |
| ⑧ Misc. patching & repairs | 700 |
| <i>Grand sidewalk + pointing Brick.</i> | <u>700</u> |
| | \$7,520 |

Excavation Haul away old cement	3,500
Prep for cement work (Dig & add Stone)	<u>3,500</u>
Total	\$11,020

We propose hereby to furnish material and labor — complete in accordance with the above specifications for the sum of:

\$ Eleven thousand and twenty (\$11,020) Dollars

with payments to be made as follows: _____

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted Gary J. Denman

Note — this proposal may be withdrawn by us if not accepted within _____ days.

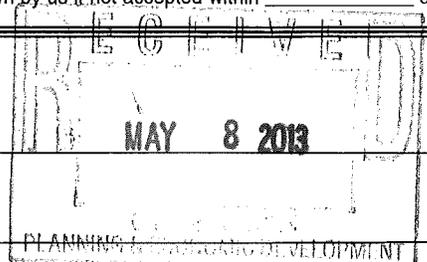
Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Date of Acceptance _____

Signature _____

Signature _____



My Notes

On the go? Use **m.bing.com** to find maps, directions, businesses, and more

