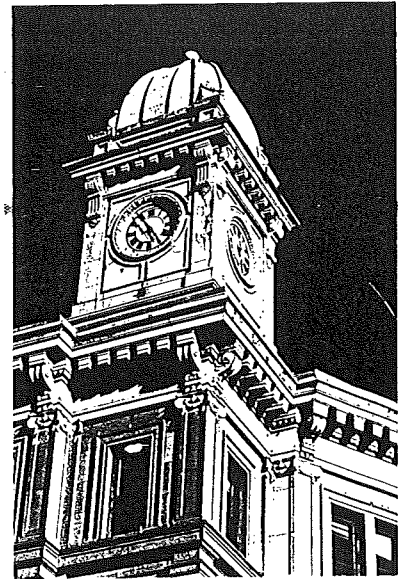
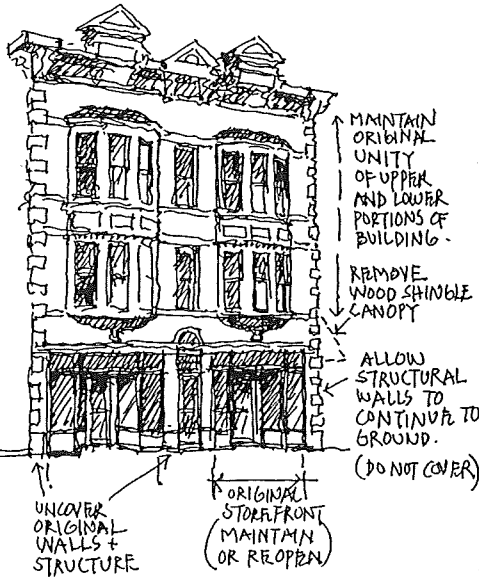
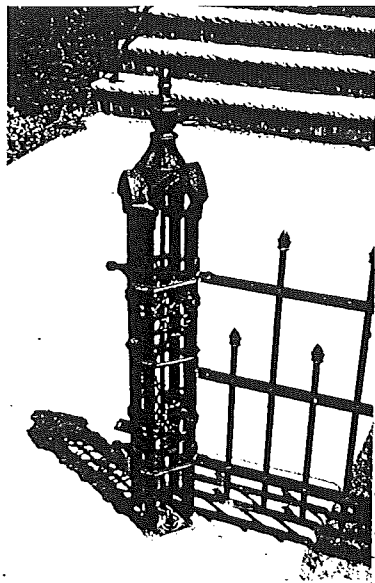
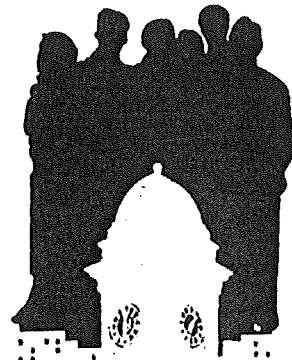


# *Downtown Design Guidelines*



Auburn, New York

"Together We Grow"



1996

**AUBURN**  
*Downtown*  
PARTNERSHIP

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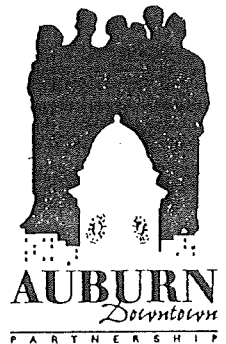
## **AUBURN DOWNTOWN PARTNERSHIP**

The Auburn Downtown Partnership is a 501(C)(3) organization made up of downtown merchants, property owners and interested individuals whose mission is to encourage and support the economic vitality of downtown Auburn through the marketing and management programs it provides as an individual organization and in collaboration with other organizations in a broad based revitalization effort.

### **BACKGROUND**

The City of Auburn is a community rich in history. The downtown area shows a wide cross-section of the past. There are several factors which have helped shape downtown into what it is today. The initial building period of the late 1800's created the shape and rich character of this city. Secondly, gradually changing business and transportation, modernization and Urban Renewal removed much of the urban fabric, streets were reconfigured and two streets were changed to pedestrian malls. Since that time, the architectural continuity of Downtown Auburn has been interrupted by both vacant storefronts and poorly designed infill projects. Recent efforts by local merchants, concerned citizens and the City of Auburn have sparked a renewal and revitalization of downtown. Caring for the quality of Downtown has become a shared priority.

## ***Downtown Design Guidelines***



## **WHY DESIGN GUIDELINES?**

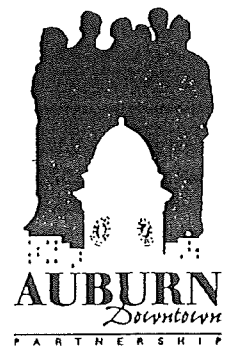
The Downtown Design Guidelines can be used as a tool for guiding the ongoing redevelopment of downtown buildings and open spaces. Although the guidelines will not be mandatory in a legal sense, the provision of facade program and site development funds administered through City programs may be tied to the application of Design Guideline recommendations to make the community aware of the value of good design decisions.

The Design Guidelines offer a unifying theme for the Downtown Area and identify key components which should be preserved, maintained and enhanced. In addition to providing this design framework, the Guidelines outline a process for facilitating the ongoing use of the Guidelines and a procedure for design review and guideline amendment.

These guidelines were developed from a small study area in Downtown Auburn, but the principals can be used throughout the entire City.

## **LONG TERM OBJECTIVES**

- Maintain and enhance character of existing historic buildings.
- Support and encourage caring for this “living history of Auburn”.
- Assist new growth and revitalization of the downtown business area.





## **HOW WILL DESIGN GUIDELINES HELP YOU?**

- Support the success of your project.
- Provide assistance in revitalization planning and decisions.
- Simplify historic and architectural issues and decisions.
- Support revitalization without “clashing” with your neighbors.
- Provide professional guidance to your project.
- Coordinate planning efforts.
- Improve the value of your property.
- Build a more successful Downtown.

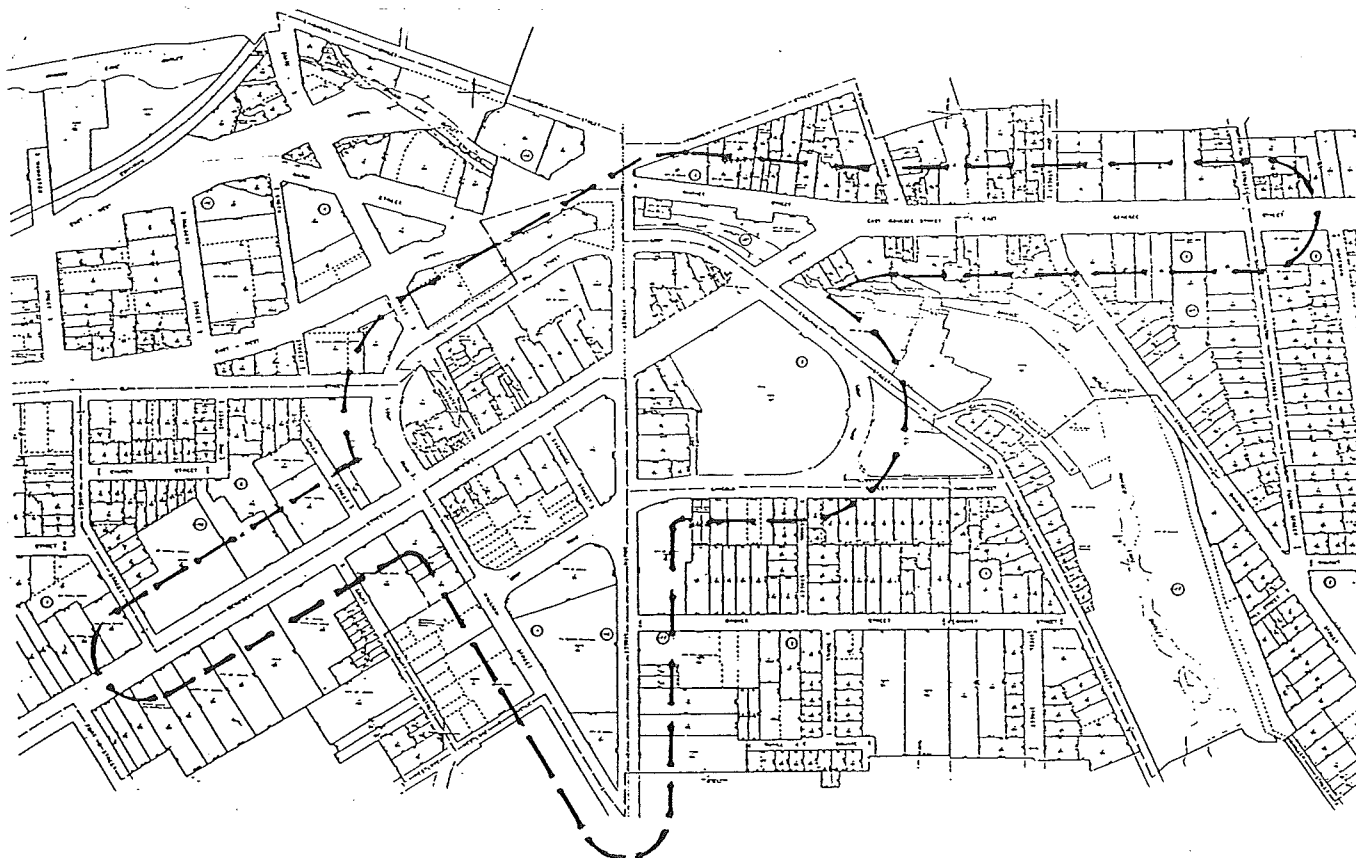
## **WHO SHOULD USE DESIGN GUIDELINES?**

- When you are making decisions regarding buildings in the downtown area.
- When you are considering maintenance and repairs.
- If you would like the assistance of design and planning professionals who are committed to making a better downtown Auburn.
- When you are considering investing in the downtown physical and business environment.

## **WHEN TO USE THE GUIDELINES?**

- When considering renovation.
- When considering addition.
- When considering demolition.
- When considering any exterior change to your building.
- When considering a new building project in downtown.
- When considering sidewalk improvements.
- When considering landscaping and historic improvements.
- When considering parking and service improvements.
- When considering new storefront or lighting.

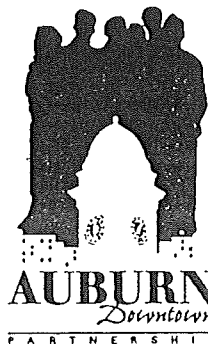
## DOWNTOWN STUDY AREA



The Downtown Study Area Included:

- Genesee Street (From James St. on the west to Fulton St. on the east)
- North and South Streets (From Market St. on the north to William St. on the south)
- Market Street
- Loop Road and Dill Street
- Exchange Street
- State Street Mall

## *Downtown Design Guidelines*

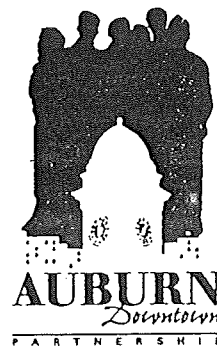


## STRENGTHS

### WHAT DOWNTOWN HAS TODAY

- The tradition of a 19th century American town.
- Buildings which contain the history of Auburn.
- A record of businesses shaping the character of Auburn.
- Many buildings rich in architectural detail, materials and design quality.
- Many sound buildings providing existing rentable space for business and living in downtown.
- A mix of Architectural Styles:
  - Victorian, Gothic, Federal, Queen Ann, Italianate, Neo-Classical and Art Deco
  - Classical civic buildings
  - 30's Railroad Car Diner
  - Old and new apartment and business buildings
- Many prominent architectural features (City Hall, the Phoenix Building, the Cayuga County Courthouse).
- An active mix of goods and service providers.
- A quality supermarket in the center of downtown.
- A river and park running through the center of downtown.
- Major crossroads, commercial district and Genesee Beer sign identifying the center of Auburn.
- An Art Deco theater facility with a classic movie marquee.
- Significant examples of historic residences in the downtown area (The Seward House and the South and Grover Streets Historic District).
- Interesting and varied walking tours.
- Adequate downtown parking.
- A rich source of older buildings offering specific examples of quality to be featured in revitalization projects and new business activities.
- Many beautiful natural features (trees, gardens, a river and landscaped parks).
- Many unique urban features (gates, fences, domes, windows, clock tower, bell tower and steeples).

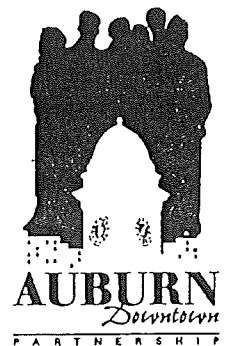
## *Downtown Design Guidelines*



## WEAKNESSES

### WHAT DOWNTOWN NEEDS

- Coordination between “old” and “new” building designs.
- Properly maintained building materials.
- Upper floor tenants along Main Street.
- Infill building in vacant and open lots on Main Street.
- Active theatre buildings..
- Consistant and tasteful building signage.
- Coordination of building and storefront colors.
- Improved designs for renovation projects.
- Improved urban character and pedestrian scale.
- Sensitivity for historic buildings.
- Renovation of hidden building features (original storefront windows, transoms, architectural details).
- Appropriate new building designs.
- Landscaping and grass along sidewalks.
- Replanting of unused blacktop surfaces around buildings and along pedestrian sidewalks.
- Pedestrian amenities.



## A FEW GROUND RULES

- Downtown is a collection of individual buildings which have impact on each other.
- Buildings which are not cared for will deteriorate.
- Individual business goals must be met to support area business.
- Everyone benefits from a single building improvement.
- Encouragement, support and guidance extended to one property will help build a revitalized Downtown Auburn.
- These Design Guidelines deal with building exteriors only.

## WHAT MAKES AN INTERESTING DOWNTOWN?

- People enjoying business and social activity.
- Clean streets, sidewalks and buildings.
- Well maintained building materials.
- Interesting building facades.
- Landscaping and natural features.
- Interesting and safe lighting.
- Slower traffic speeds and pedestrian priority crosswalks which are safer and encourage window shopping.
- Visually interesting places to attract people.

## WHAT CAN BE GAINED FROM HISTORIC/OLDER BUILDINGS?

- Downtown benefits from quality materials and craftsmanship neither available nor affordable today.
- Higher standard of design in buildings built before World War II.
- Historic buildings are more pedestrian friendly.
- Uncovering older buildings can reveal hidden treasures.
- Important lessons of how different types and styles of buildings can work well together.
- Helpful examples of entrances, windows, roof forms, materials, and successful paint colors, etc.
- Examples of interesting architectural details..
- A “living history” of past urban qualities for study and use in revitalizing downtown Auburn.

# *Downtown Design Guidelines*



## HOW ARE THE GUIDELINES ORGANIZED?

Building improvement and maintenance are ongoing activities requiring daily decisions and resources. As a quick and direct reference, these Design Guidelines have been organized by **individual “BUILDING ELEMENTS.”** This will allow you to go directly to the project section you are anticipating, understand the analysis of this building element, and obtain direct recommendations for your project.

Small projects may deal with only part of a single element, while larger projects may involve many related elements.

If you are considering a new project, use these Design Guidelines to analyze qualities of Downtown. This can also help establish design criteria for your project.



## HOW TO USE THE GUIDELINES

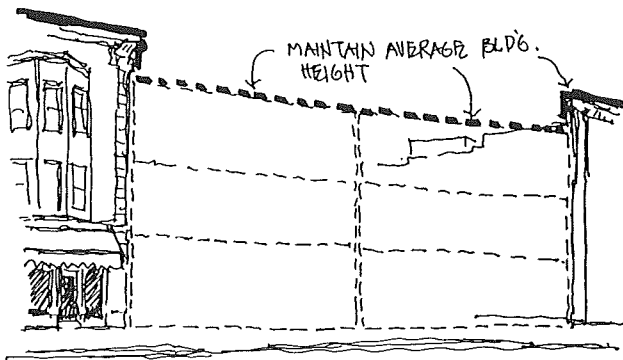
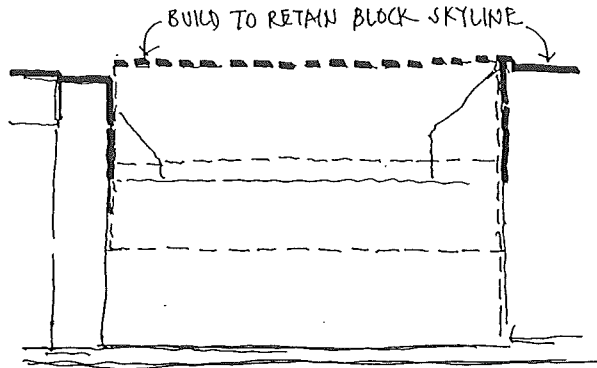
- The Design Guidelines are organized as recommendations.
- They reflect analysis and recommendations by design professionals for your use.
- These are not general guidelines for any city, but developed from local participation and for your Downtown Auburn buildings.
- You may have a particular improvement project in mind, removal of old signs, window replacement or the installation of a new store front, and need assistance.
- These Design Guidelines are organized by the different BUILDING ELEMENTS which in combination, make-up a building or facade.
- The Guidelines are organized from consideration of the larger scale (plan and evaluation) to the smaller scale (individual details).
- Select the appropriate topic and review the list of recommendations.
- Find the most useful and appropriate recommendations and list them as criteria for your project.
- If you find one element refers to another, read that section and expand your list of criteria.
- This will build a list of design criteria for the work you are planning.
- This list of criteria will help your Architect and/or Contractor provide a more accurate quotation for your work.
- These guidelines will help you improve the value of your Downtown property.

## GLOSSARY OF DESIGN TERMS

<b>AWNING</b>	- usually a movable canvas sunscreen over a window or doorway	<b>MUNTIN</b>	- the small frame or dividers in a window which hold the individual glass panes in place
<b>BRACKET</b>	- the plain or decorative supports under a roof or bay window	<b>PARAPET WALL</b>	- the portion of a wall which extends above the roof
<b>BUILDING BAY</b>	- the portion of a building between two structural walls or column lines	<b>PATTERN</b>	- the geometric result of repetition of windows or other similar elements
<b>BUILDING ELEMENTS</b>	- the parts of a building, like windows, doors and trim	<b>PAVERS</b>	- solid brick, stone or concrete units used for sidewalks or driveways, usually thinner than a standard brick and without core holes.
<b>BULKHEAD</b>	- the low wall below a storefront window	<b>PILASTER</b>	- a vertical thickening of a building wall for structural support
<b>CANOPY</b>	- a projecting cover, usually at street level, protecting a doorway or entrance	<b>PROPORTION</b>	- the ratio of height to width; i.e. a "tall" proportion has a greater height than width; a low proportion has greater width than height
<b>CAPITAL</b>	- the decorative top portion of a column	<b>RHYTHM</b>	- the regular or irregular repetition of building elements like windows, doors and structure
<b>COLOR</b>	- the difference in lightness or dark- between two colors	<b>ROOF LINE</b>	- the shape and form of the roof or groups of roofs as it is seen against the sky; i.e. "the skyline"
<b>CONTRAST</b>	- the red, green or blue of a color; the name of the color	<b>SASH</b>	- the movable sections of a window
<b>COLOR HUE</b>	- the brightness of a color; the amount of the pure color	<b>SETBACK</b>	- the distance from the sidewalk edge to the front of the building
<b>COLOR INTENSITY</b>	- the lightness or darkness of a color	<b>SHUTTERS</b>	- originally movable window covers
<b>COLOR VALUE</b>	- the flashing or cap, usually metal or tile, on top of an exterior wall	<b>SIGNBOARD</b>	- the horizontal space above the storefront window, sometimes framed with trim, intended for the application of a flat sign
<b>COPING</b>	- the decorative trim of the top of a building. Also over windows and doors	<b>SOFFIT</b>	- the underside of a beam or roof overhang
<b>CORNICE</b>	- a special decorative or functional feature	<b>STOREFRONT</b>	- the street level portion of a building facade which was originally intended for display of goods or services
<b>DETAIL</b>	- the full wall of a building, primarily the front wall facing the street	<b>STREETSCAPE</b>	- the combination of benches, waste baskets, light poles and landscaping along a street
<b>FACADE</b>	- the glass in a window	<b>TRANSOM</b>	- the window or panel above a door or storefront
<b>GLAZING</b>	- the vertical dimension of windows, doors or a building	<b>WIDTH</b>	- the horizontal dimension of windows, doors or a building
<b>HEIGHT</b>	- a recognizable symbol, like a shoe		
<b>ICON</b>	- the building or void left by the demolition of a single building in a row of similar buildings		
<b>IN-FILL</b>	- a round column on the sidewalk used to display porters or notices		
<b>KIOSK</b>	- a flat roof with steeply sloping sidewalls and often with dormer windows		
<b>MANSARD ROOF</b>	- the collective visual form created by a group of buildings		
<b>MASSING</b>			







HEIGHT

## HEIGHT

### TRY TO...

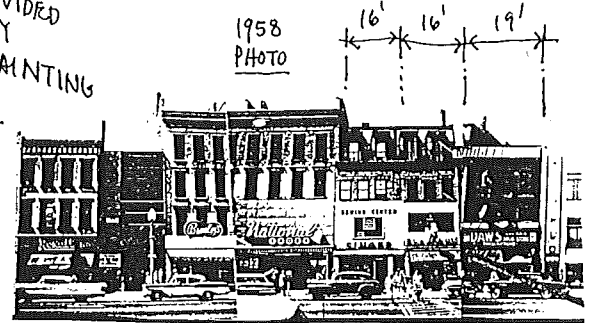
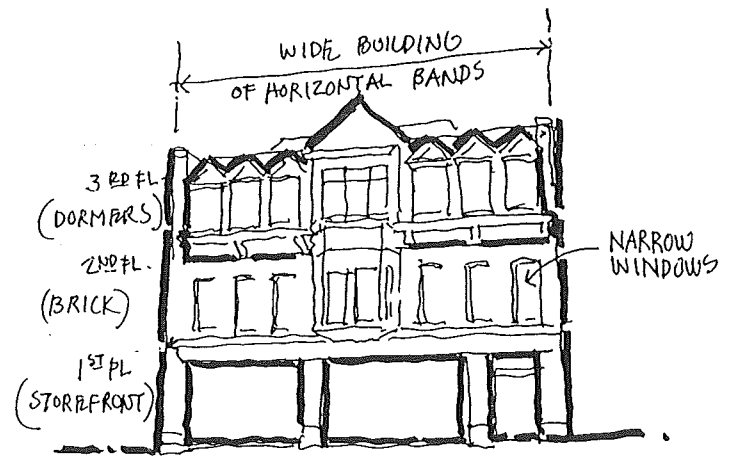
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- Respect predominant height of adjacent buildings in an area.
- Maintain a height consistent with the predominant or average height of an area, block or district.
- Use subtle building height changes or gradual stepping up or down from the average building height.
- Create new construction (in-fill) buildings, which have a height consistent with the average building heights of its neighbors.
- Scale floor to floor height of new construction to be compatible with adjacent buildings (align floors, windows cornices, etc.).
- Strengthen the skyline of a block, each building contributing to the scale of the other.
- Clean and finish building side walls when visible above adjacent roof lines.

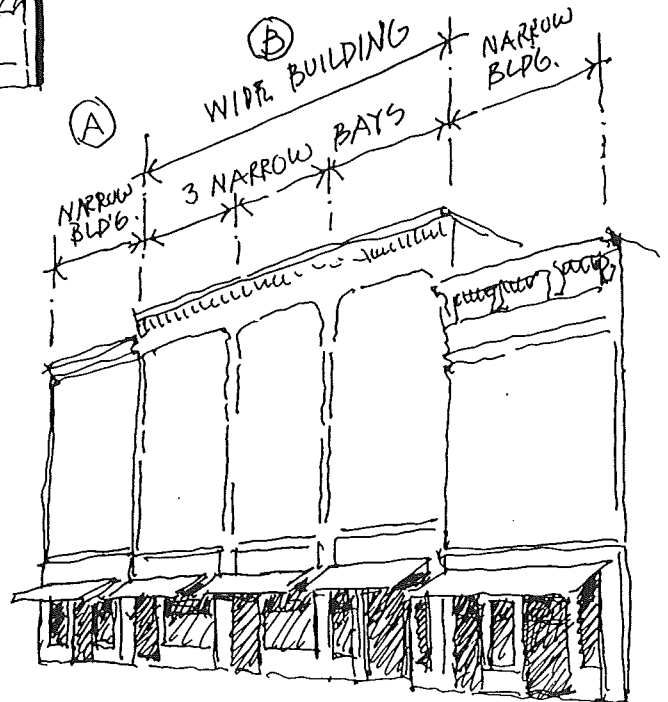
### AVOID...

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- Abrupt changes in height with adjacent buildings.
- Abrupt jumps of more than two stories up or down from adjacent building heights (i.e. don't put a one story building in a predominantly 3-5 story block of buildings).
- Removing upper floors from a building without rescaling the facade to work well with adjacent existing heights and roof line proportions.
- Advertising on side walls of buildings extending above adjacent roof lines. (Restored facades and roof line cornices should be seen cleanly against the sky or simple and plain side wall of neighboring building).
- Changing original facade elements (windows, pilasters and trim) which would contribute to the vertical or horizontal character of the original building design.



(C)



WIDTH

## WIDTH

### TRY TO...

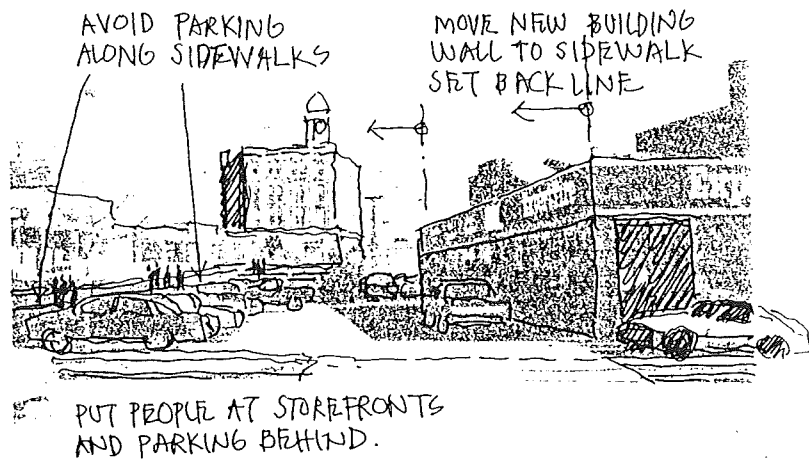
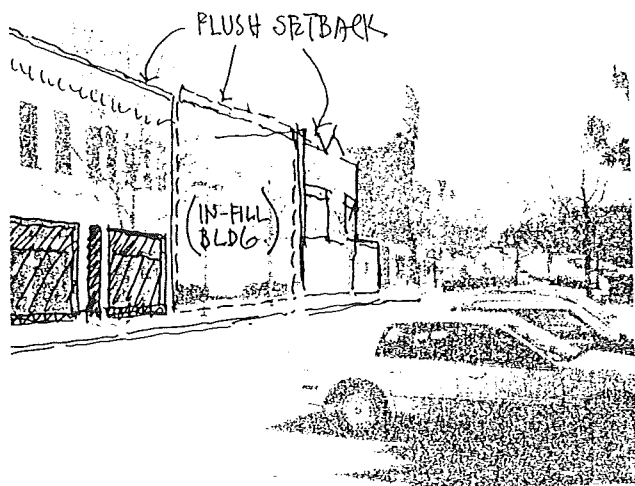
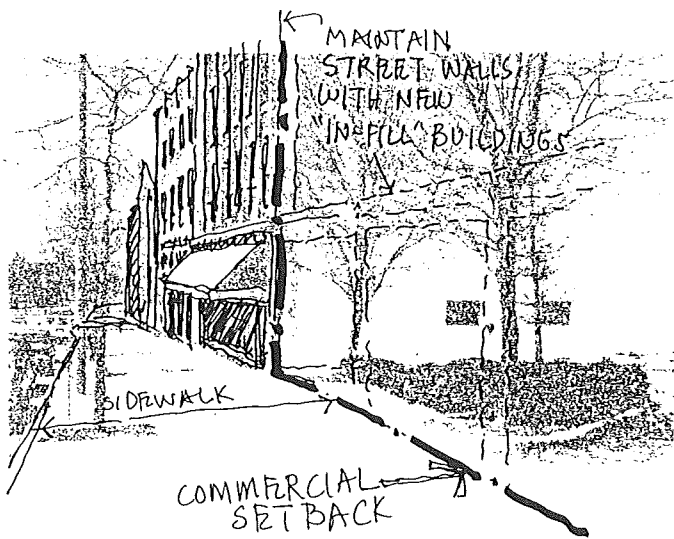
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- Maintain typical building widths along a block.
- Use rhythm of original “narrow” lots in proportioning new building facades (usually multiples of 10’-20’ widths).
- Use older building dimensions when combining multiple of narrow lots to make a larger building for an “infill” block.
- Respect adjacent building width to height ratios in proportioning new facades.
- Build full lot width to create a continuous “street facade” (rather than separating individual buildings with alleys or open spaces).

### AVOID...

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- Creating “infill” buildings without vertical modulation similar to adjacent properties.
- Creating gaps in continuous row of building facades.



## SETBACK

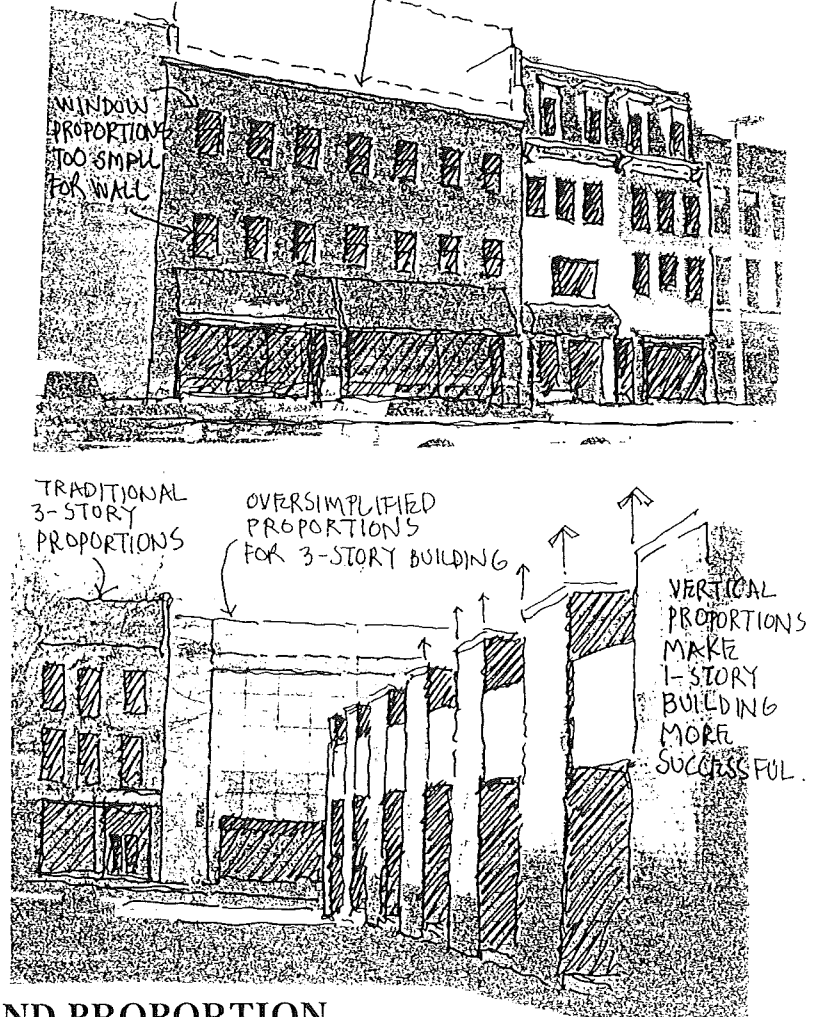
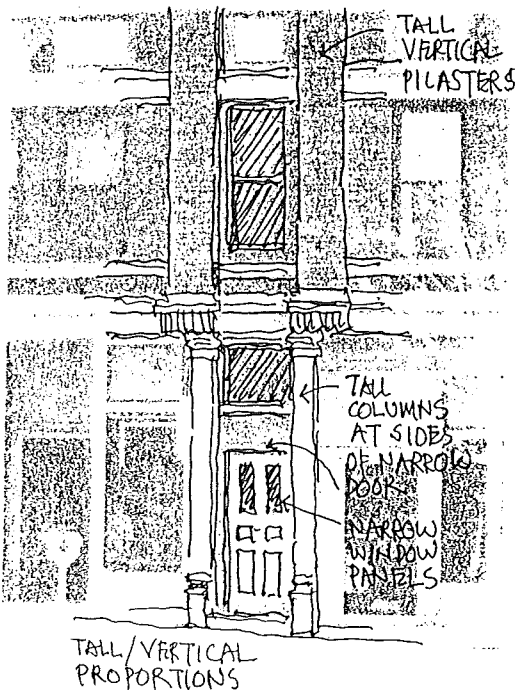
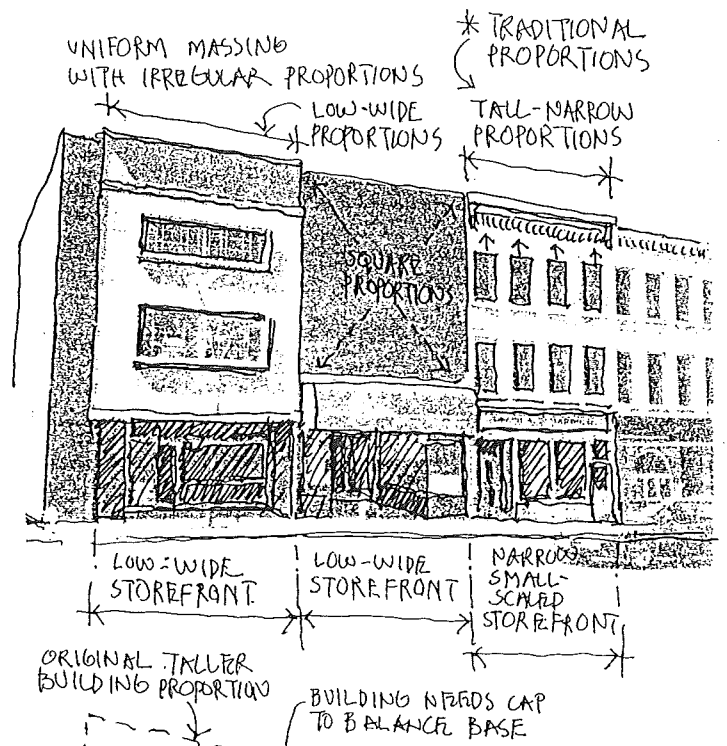
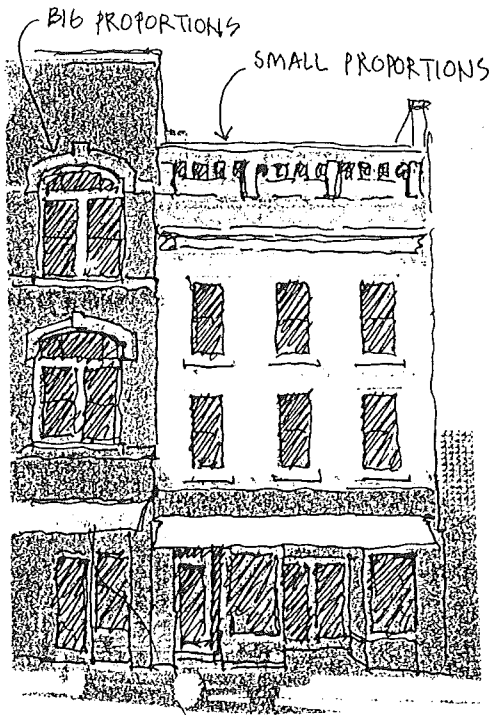
## SET BACK

### TRY TO...

- Maintain set back dimension similar to adjacent buildings.
- Maintain sidewalk widths of adjacent properties.
- Provide gradual transition between buildings with deep set backs and those at sidewalk edge (as when former residential properties transition to commercial properties).
- Create and define pedestrian walkway at front property line.
- Keep commercial storefronts at edge of street sidewalk width as business window interaction is required.
- Respect residential buildings which need a setback for social privacy.
- Maintain adjacent building facade definition with built features or landscaping.

### AVOID...

- Recessing a new building back from an existing row of buildings.
- Creating a “missing-tooth” or “hole” in a planned row of buildings.
- Parking immediately adjacent to pedestrian sidewalks.
- Changing use of front lot to conflict with that of adjacent buildings.



## MASSING AND PROPORTION



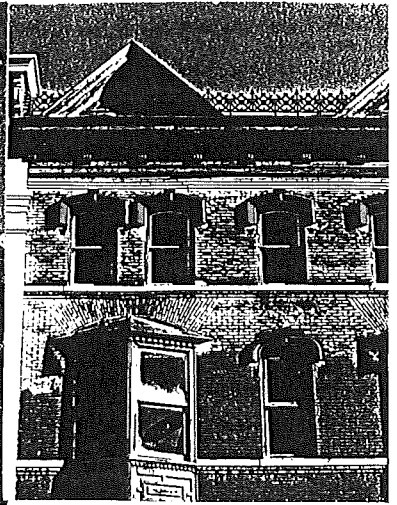
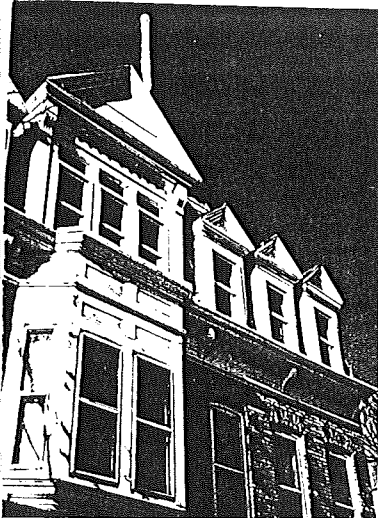
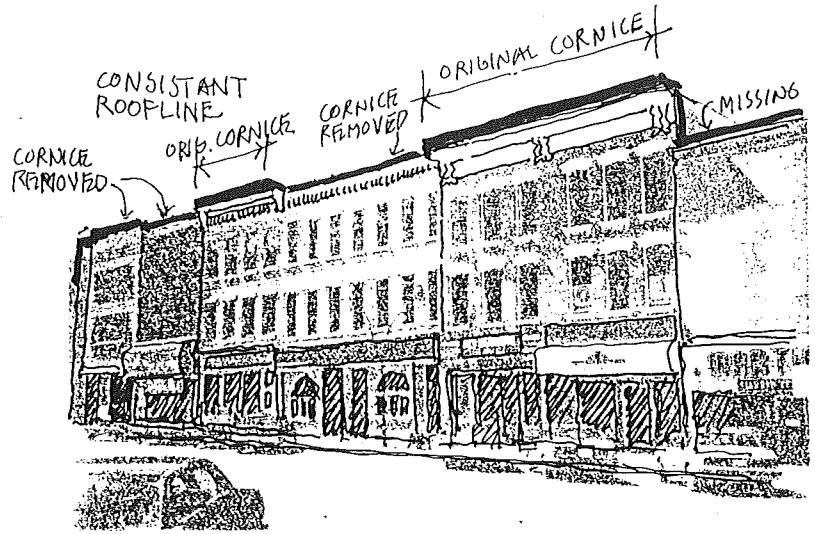
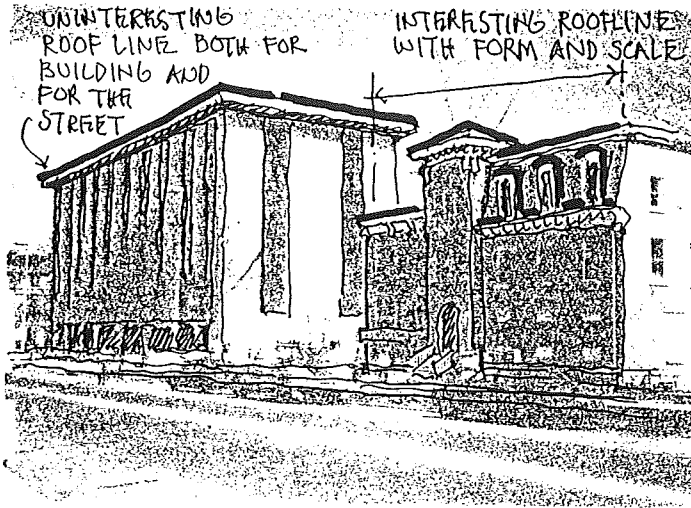
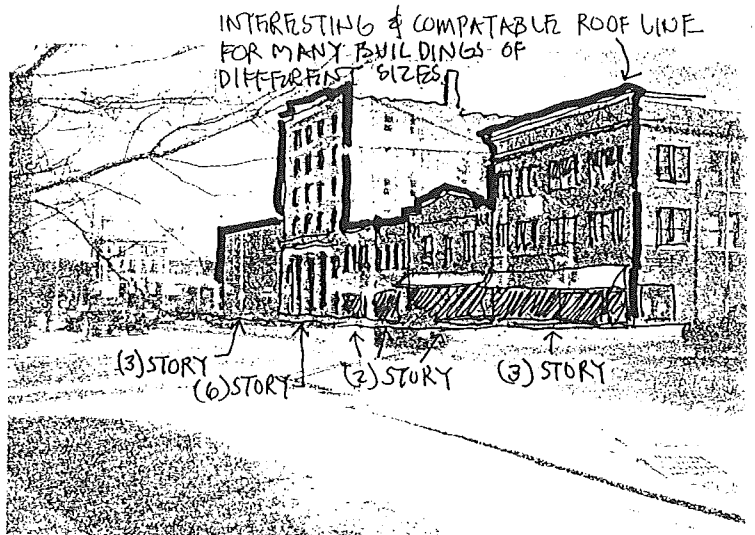
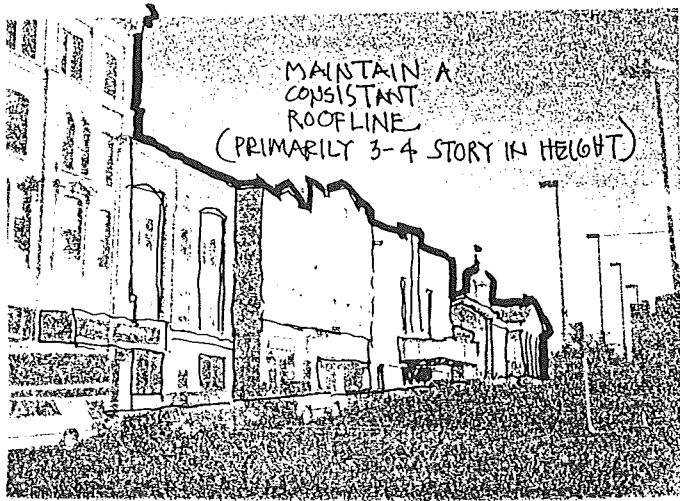
## MASSING AND PROPORTION

### TRY TO...

- Evaluate neighboring buildings in terms of scale, (does it look “big or small”) and proportion (“tall and thin” or “low and wide”).
- Maintain existing building proportions including base (storefronts), body (middle floors) and cap (roof cornice trim).
- Use new elements which complement rather than contrast with existing or adjacent building proportions (i.e. tall, thin buildings may use trim that is also tall and thin).
- Maintain the rhythms and pattern of adjacent buildings in designing or renovating a building (continuous horizontal bands of trim, windows, and storefronts).
- Maintain the ratio of building size to overall lot size as exhibited by adjacent buildings.
- Use heights and sizes similar to neighboring building scale and proportions.
- Complement the character, size and openings of adjacent buildings.
- Consult historic photographs to verify earlier building designs.

### AVOID...

- Designing low-wide buildings next to a tall-thin buildings.
- Creating a noticeable change in form, pattern or size.
- Removing parts of buildings which are part of its essential character (like porches, cornices, roof elements, doors and windows).



## ROOF LINE

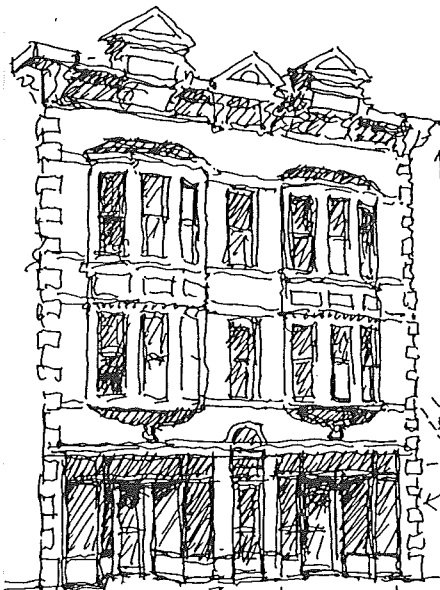
## ROOF LINE

### TRY TO...

- Identify predominant roof forms of commercial or residential building types.
- Maintain typical roof forms within a group of buildings.
- Replace missing roof features (cornices, brackets, peaked roofs, arched heads or pediments, and special details).
- Replace entire cornices which have been removed.
- Use traditional roof materials appropriate to the original construction (copper, painted metal roof forms, wood trim).
- Repair deteriorated parapet flashing and coping (metal protective cap over walls extending above roof).
- Maintain roof line features as visual interest for your building and the entire block.

### AVOID...

- Removing original roof form elements.
- Removing cornice or building caps.
- Removing or covering special roof line details, pediments and medallions.



UNCOVER ORIGINAL WALLS + STRUCTURE

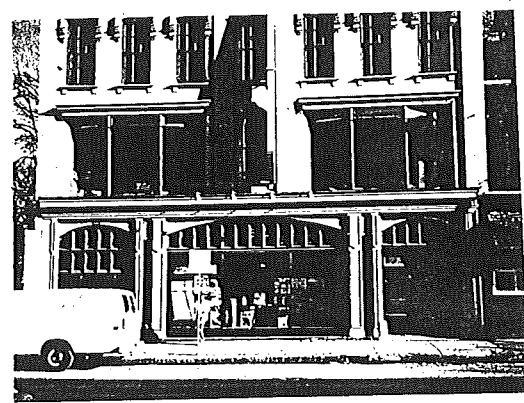
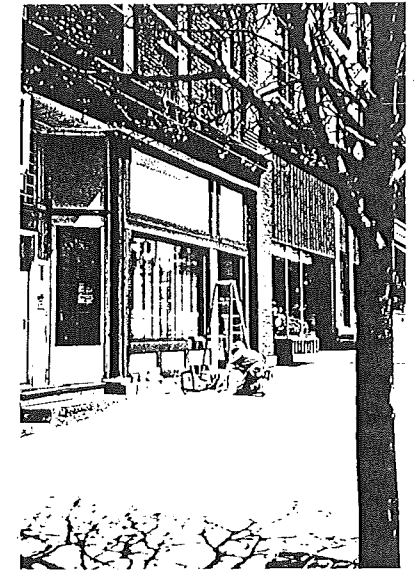
ORIGINAL STOREFRONT (MAINTAIN OR REOPEN)

MAINTAIN ORIGINAL UNITY OF UPPER AND LOWER PORTIONS OF BUILDING.  
REMOVE WOOD SHINGLE CANOPY  
ALLOW STRUCTURAL WALLS TO CONTINUE TO GROUND. (DO NOT COVER)

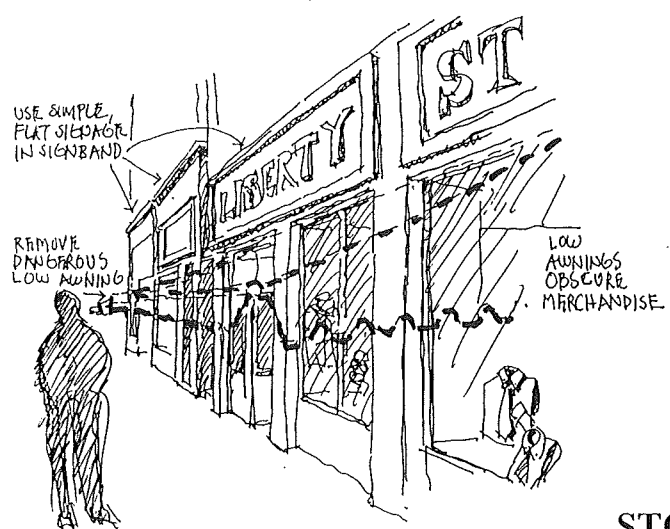
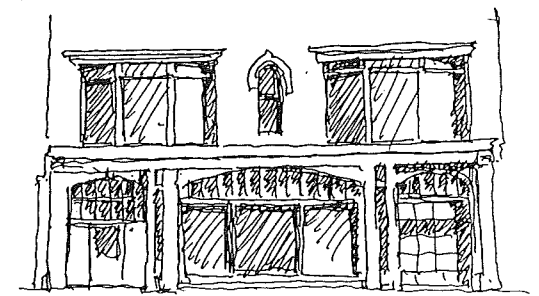


SUGGESTED REPEAT RENOVATION (B)

A RECENT AND GOOD STOREFRONT RENOVATION (A)



BEAUTIFULLY PROPORTIONED (2) STORY STOREFRONT



# STOREFRONT

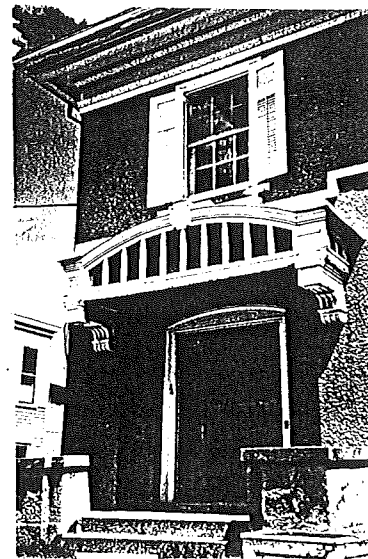
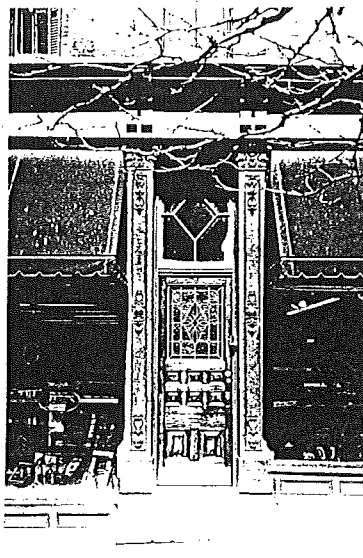
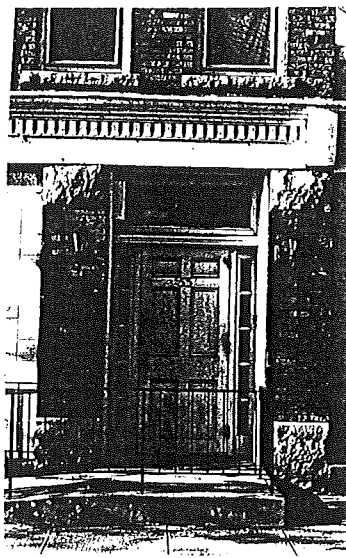
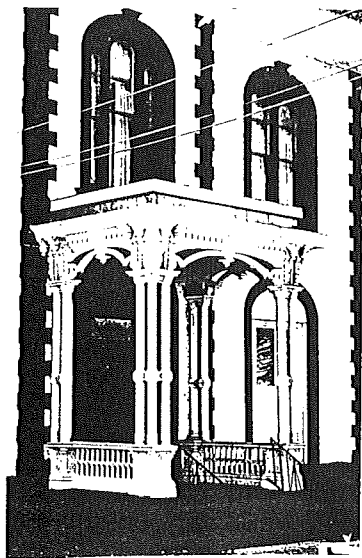
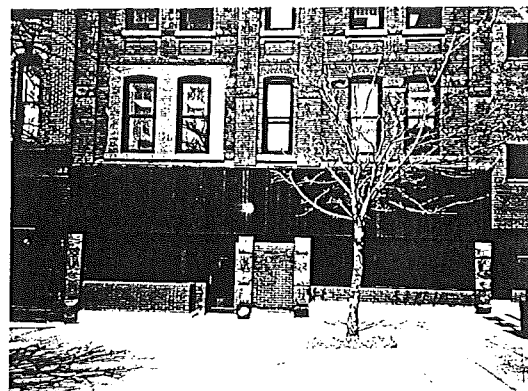
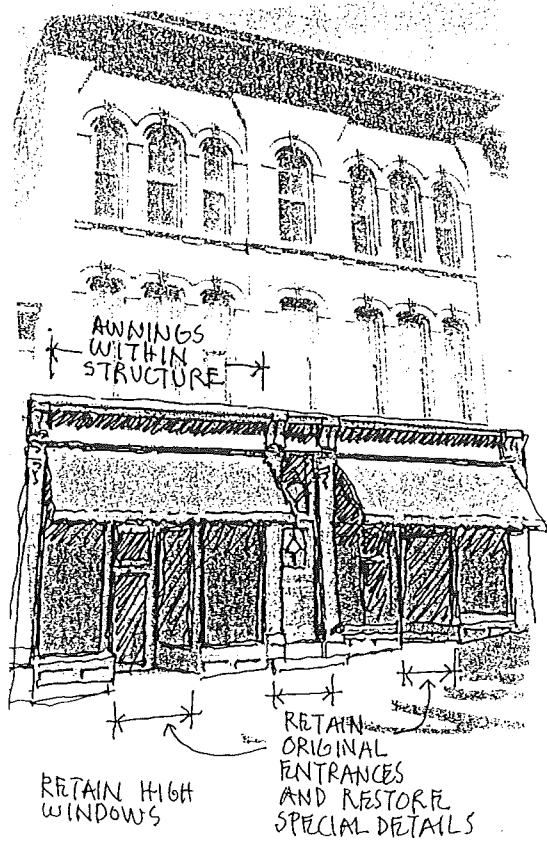
## STOREFRONTS

### TRY TO...

- Restore original storefronts in material and design.
- Remove signage covering original building features.
- Uncover special details that were part of storefront.
- Remove materials covering transoms and storefront windows.
- Feature special details around storefront windows and entrances.
- Remove wood shingle “Mansard” canopies covering original storefronts.
- Replace original building materials if removed in storefront renovations.
- Replace missing awnings “within” the width of the storefront opening (do not cover building support walls or columns).
- Preserve the original storefront display area by adding windows and view into the 1st floor of the building.
- Add lighting to focus on special details or signs. Use time clock to control hours of exterior lighting.

### AVOID...

- Covering original building structure, entrances, storefronts and transoms.
- Removing original storefront trim.
- Removing or covering original building details like column capitals or decorative trim
- Adding artificial stone, brick, metal or vinyl over original storefront materials.



ENTRANCE

## ENTRANCES

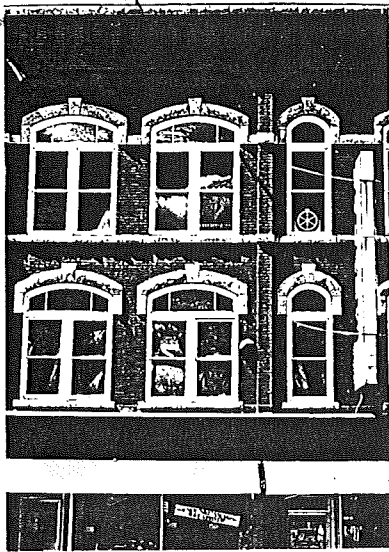
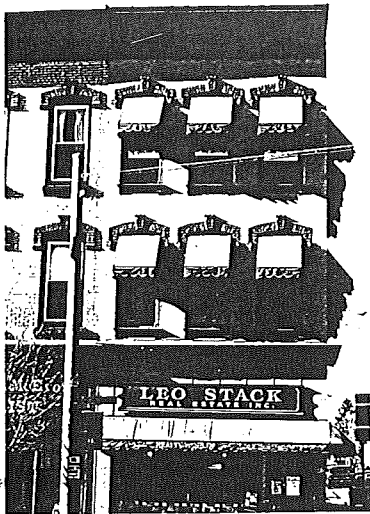
### TRY TO...

- Retain recessed storefront entrances.
- Retain details of original building entrance to upper floors, even if no longer used.
- Retain repetitive entrances for different business' within the same original building. (business identification should occur in signage and window treatment rather than changing building entrance and storefront details).
- Retain porches, entry canopies and other physical entry features.
- Add appropriate period light fixture.

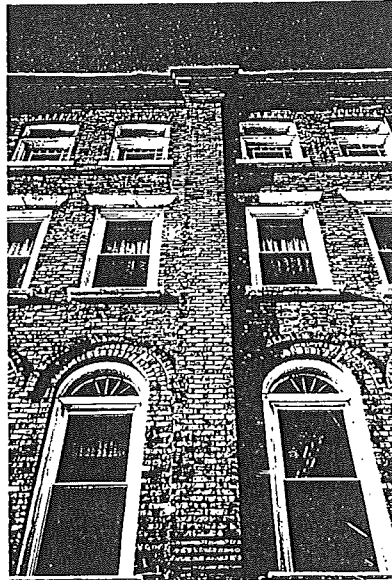
### AVOID...

- Covering transoms above storefront windows.
- Covering original entrances to upper floors.
- Adding doors or windows incompatible with storefront or building windows above (do not use contemporary residential doors).
- Removing recessed entries.
- Removing entrance features, including ceramic floor tiles, metal panels or castings, glass block units, doors or other original entrance elements.





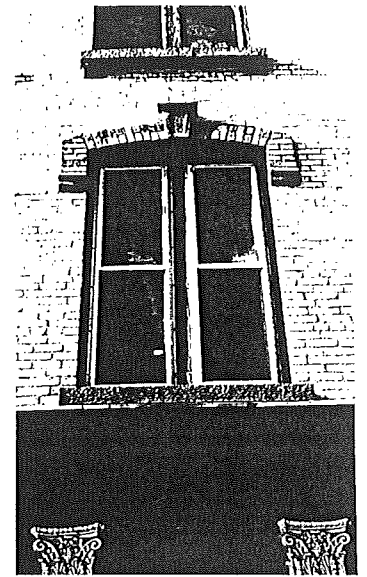
↪ PILASTER WITH BRICK CORNICE



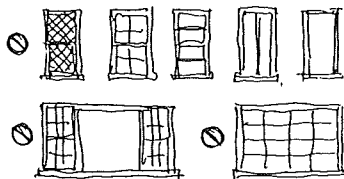
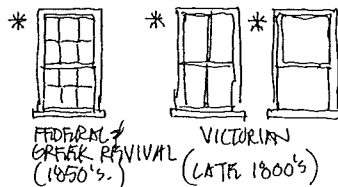
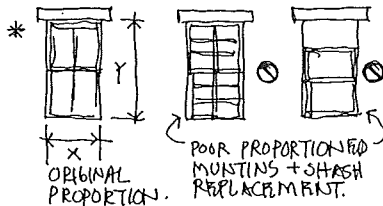
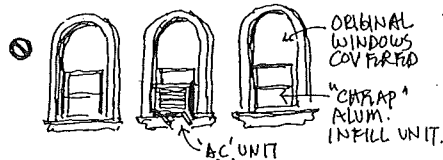
4TH FLOOR  
SMALL WINDOWS  
WITH FLAT BRICK  
ARCH HEAD

3RD FLOOR  
LARGER WINDOWS  
WITH STONE  
LINTELS

2ND FLOOR  
TALL WINDOWS  
WITH ARCHED  
TRANSOM  
WINDOWS AND  
FULL BRICK ARCH  
HEAD.

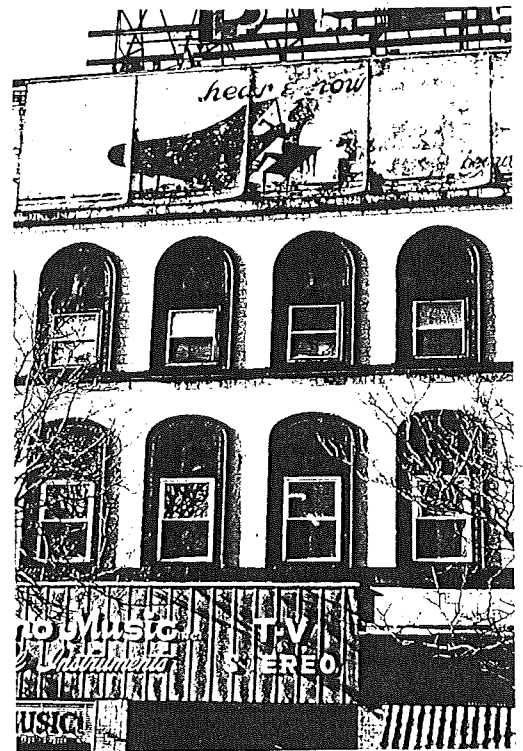


(STOREFRONT BELOW)



⊘ RANDOM "LUMBER YARD" UNITS  
WITHOUT REGARD TO ORIGINAL  
BUILDING CHARACTER.

✱ AUTHENTIC.



## WINDOWS



## WINDOWS

### TRY TO...

---

- Retain original windows whenever possible.
- Repair damaged window frames, materials and details.
- Paint and maintain original window shash and frames.
- Retain and preserve window sills, lintels and caps as they are part of the window proportions and overall building facade design.
- Reopen original windows which have been filled in over the years.
- Replace original windows with same size replacement windows.

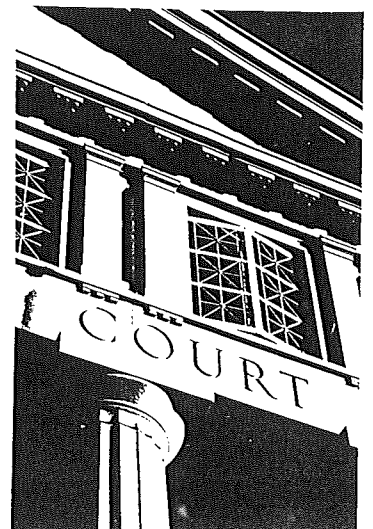
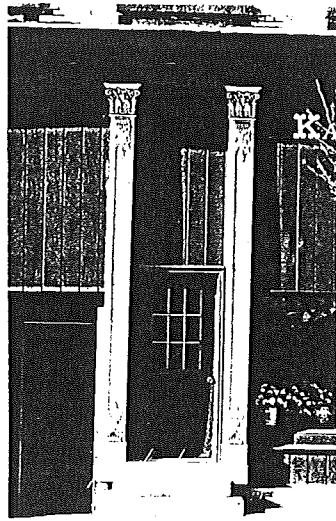
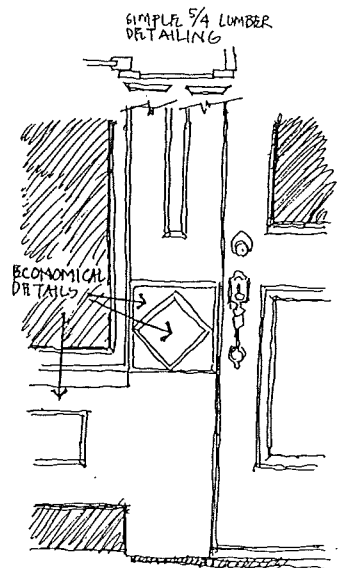
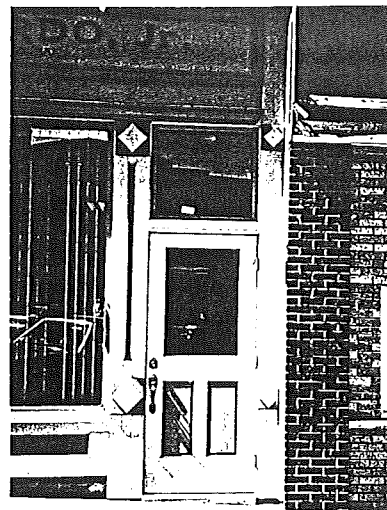
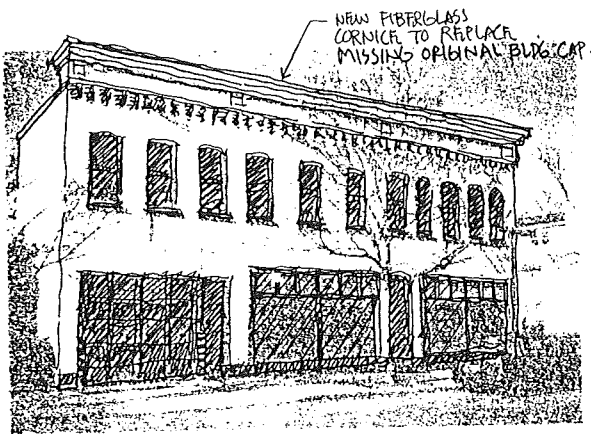
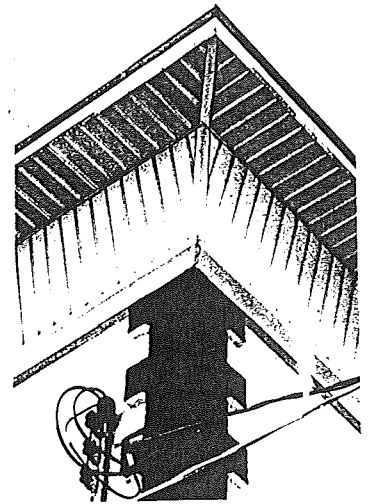
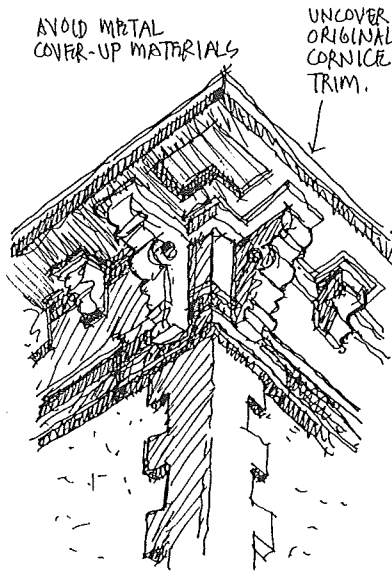
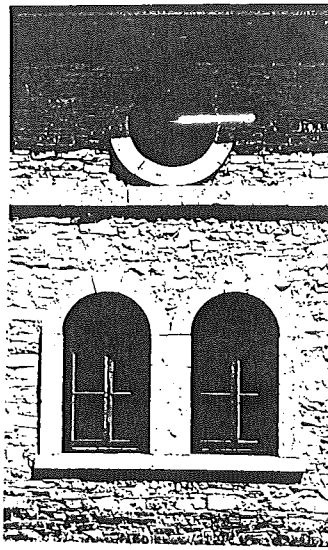
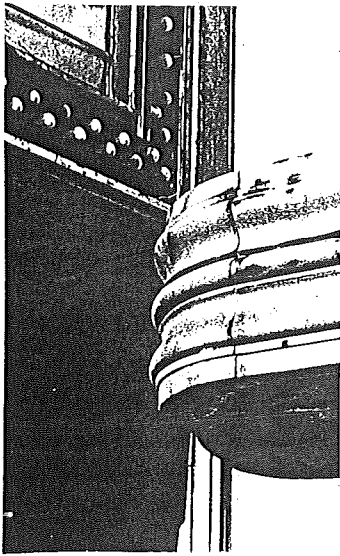
(Note: replacement windows are now made to order for older window sizes and are competitive with manufactures standard sizes. It is extremely important to maintain the original window size within your building facade).

- Retain original window muntin proportions when considering replacement windows.
- Maintain different window head shapes on the different stories.
- Paint window trim to accent building facade.
- Maintain transom windows above entrances and storefronts.
- Restore and replace special transom glazing materials (glass block, diffused glass, stained glass or obscure glass).

### AVOID...

---

- Covering or infilling original windows.
- Reducing size of original window.
- Replacing original windows with smaller or different type of window.
- Changing window head shapes.
- Adding natural aluminum storm windows.
- Replacing original windows with aluminum or vinyl windows.



## DETAILS AND MATERIALS

## DETAILS AND MATERIALS

### TRY TO...

---

- Keep existing wood brackets, trim, cornices, medallions, windows, doors and other original details.
- Provide proper cleaning, painting and maintenance of original materials.
- Feature and focus on original special details.
- Focus attention to special details by using contrasting yet compatible color schemes.
- Replace missing brackets, capitals, trim or roof line elements.
- Repair missing sections of trim, roof or cornice brackets, and other “missing teeth” in a repetitive pattern. It is far better to replace a few brackets or cornice dentals than to lose their contribution to the original building design.
- Retain historic signage on building side walls, (faded painted signs of antique type face have a nostalgic and historic quality from a by-gone advertising era).
- Provide waterproof flashing above roof cornices, bay window roofs, entrance canopies and other special details exposed directly to the elements.

### AVOID...

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- Covering existing detail features like brackets, column capitals and bases or special brickwork.
- Covering cornice brackets with cheap aluminum or vinyl soffit materials.
- Cutting or removing original brick or stone detail and trim work.
- Removing original bay windows, porches, shutters and shutter brackets and cornices.
- Removing ornamental hinges, door knobs, special hardware, building numbers and decorative trim.
- Using residential doors or windows on the renovation of a historic commercial building.

- WHITE TRIM ON WINDOWS & DORMERS
- BRIGHT RED BRICK

- CREAM BRICK WITH GREEN TRIM

- RED BRICK WITH BROWN TRIM

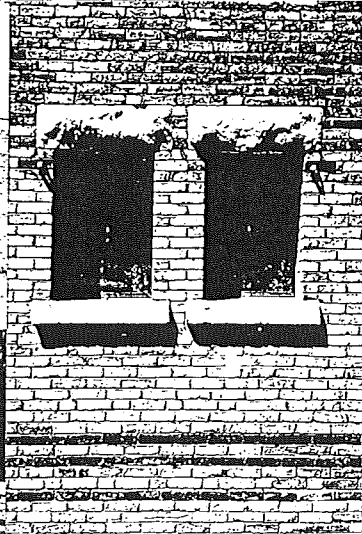
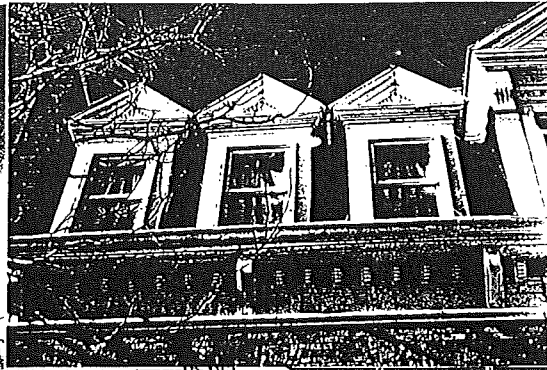
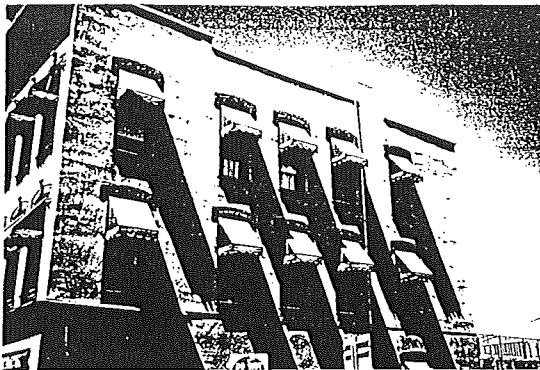
- ACCENT BLUE CORNICE WITH CREAM & RED BRACKETS AND DECORATIVE PANELS
- BRICK WITH STONE CORBING

- SINGLE BUILDING DIVIDED BY TWO PAINT COLOR SCHEMES.



- RED ACCENT AWNINGS ON GRAY BUILDING SCHEME

- WHITE PAINT FEATURES DORMER GEOMETRY



- RED BRICK BUILDING WITH STONE TRIM
- PAINTED BAYS & TRIM IN 2-TONE BLUE & CREAM

- NATURAL MASONRY COLORS OF RED WITH BLACK BRICK STRIPES
- NATURAL ROUGH & CUT STONE WINDOW SILL & LINTELS

- YELLOW BRICK/PAINTED BUILDING BACKGROUND
- WITH ALL TRIM IN A RICH GREEN, DARK ACCENT COLOR

## COLOR

## COLOR

### TRY TO...

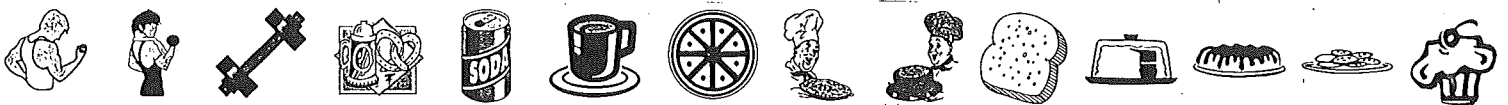
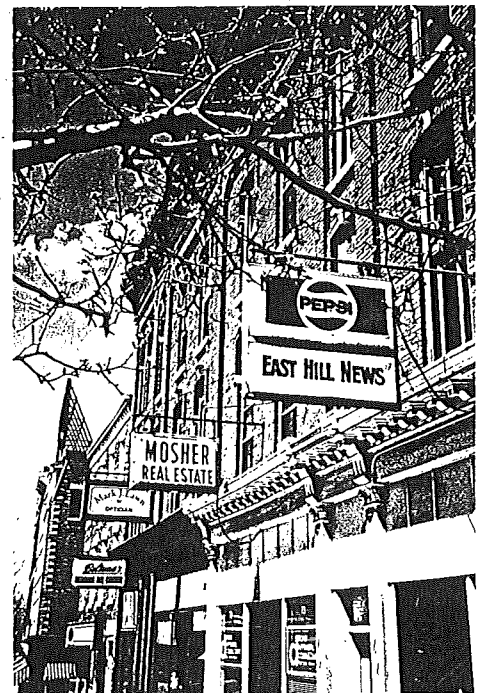
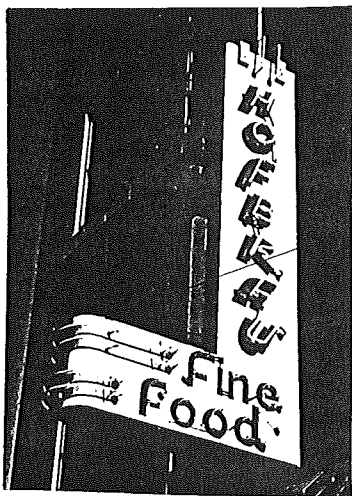
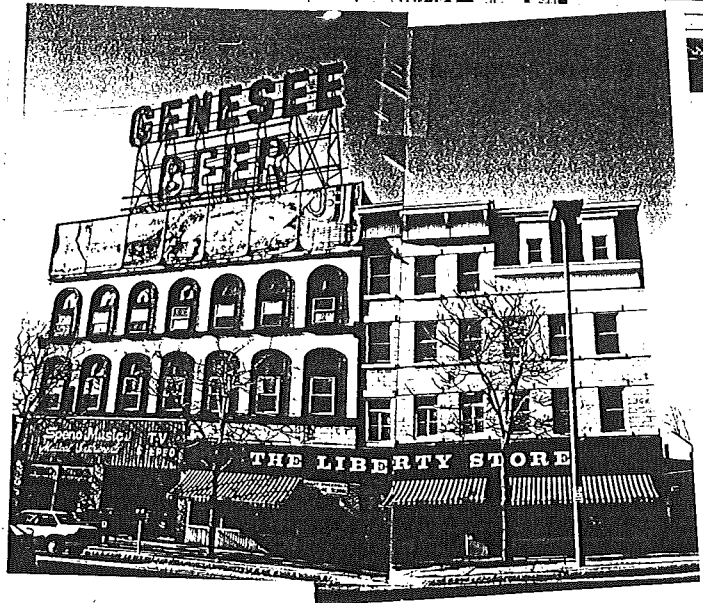
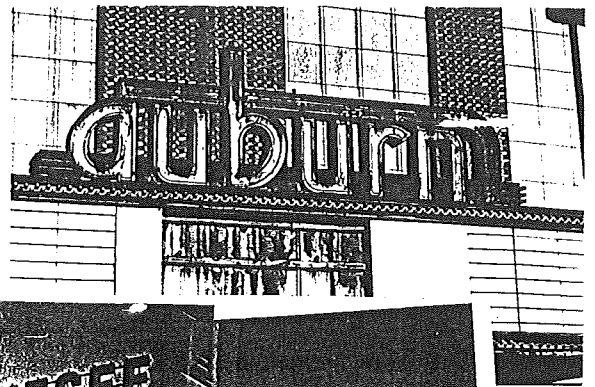
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- Identify original building colors by scraping sample layers of original paint and material.
- Return building to its original masonry and painted wood color combination.
- Select colors to compliment the character and era of the individual building.
- Select exterior colors from “historic” paint color series offered by most paint manufacturers. They have stood the test of time for exterior use.
- Select exterior colors which replicate natural material colors.
- Consider adjacent buildings when selecting your paint color scheme.
- “Be a good neighbor” in selecting colors to complement your block.
- Use window trim color as an accent color.
- Use subtle colors for large, simple building facades.
- Use contrasting colors to focus on building storefront, entrances, roof line, decorative trim and other important details.

### AVOID...

---

- Using intense color hues on building exteriors.
- Selecting bold colors for your building as they will be overpowering and create discord with your neighboring building.
- Using two or more intense colors on a building exterior.
- “Matching” adjacent building colors to “complement” them. “Matching” color schemes seldom work.
- Using more than two contrasting colors for detail definition.
- Sandblasting or removing paint on buildings which were originally meant to be painted.



## SIGNAGE



## SIGNAGE

### TRY TO...

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- Consult existing city signage ordinance.
- Use simple “Icon” or “graphic symbol” signs. They are the oldest type of commercial sign and the easiest to understand. A simple projecting graphic sign is quickly identified.
- Keep ‘Text’ signs within original ‘sign band’ location on building storefront. (i.e. keep projecting signs to a minimum if used at all).
- Let the size and shape of your sign compliment your building and storefront.
- Use signs big enough to be read easily and small enough to complement a storefront. Strive for a good balance.
- Use as few words as possible. One word or name is easiest to read and remember.
- Choose a large and easy to read letter size and style. (ornate typeface can be hard to read).
- Select sign colors complementary with building colors. Use rich colors with enough contrast to read clearly.
- Reference your city signage ordinance or guidelines.
- Design your signs to be pedestrian oriented. Easy to read and graphically interesting.
- Use transparent window signs large enough to draw the shoppers eye to your merchandise.
- Use dark background colors with lighter letters. This often looks richer.
- Maintain consistency between different store signs within the same building.
- Provide 6” high (minimum) building street numbers in a style compatible with building style.
- Recondition and reinstall old style signs whenever possible.

### AVOID...

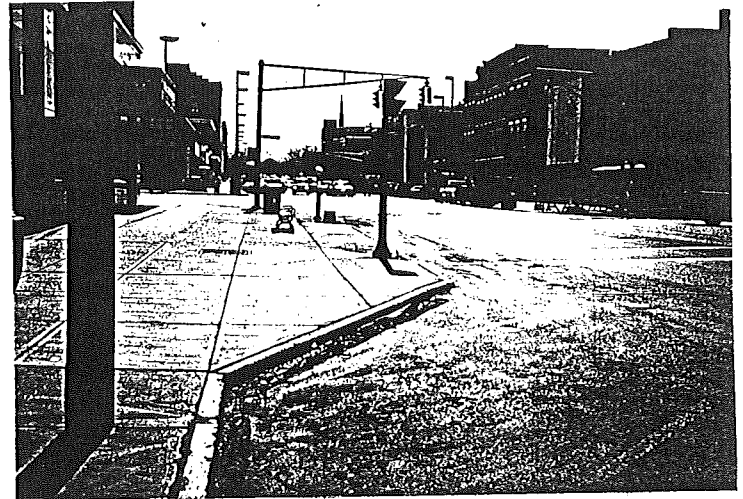
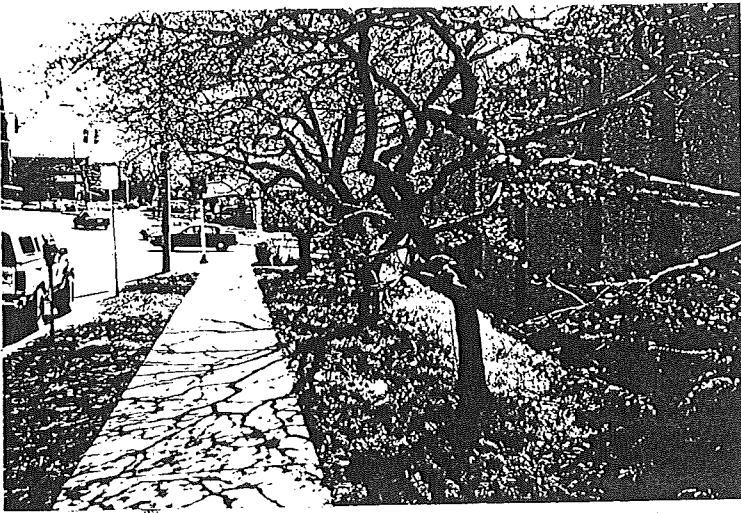
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- Large signs.
- Typeface that is too small.
- Too many words.
- Internally illuminated signs (check signage ordinance).
- Projecting signs.

- Too many signs on your building or storefront. Information clutter and “too many words” will detract from building appearance.
- All capital “old English” letters (a frequent and “illegible” mistake).
- Covering important building elements and features like windows, details or entrance materials and decorations.
- Bright unnatural colors for exterior use. They will detract and clash with neighbors.
- Large, white, internally illuminated signs, as they will overpower the building exterior.
- Sign lighting spill over the rest of the building.



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SIDEWALKS

## **SIDEWALKS**

### **TRY TO...**

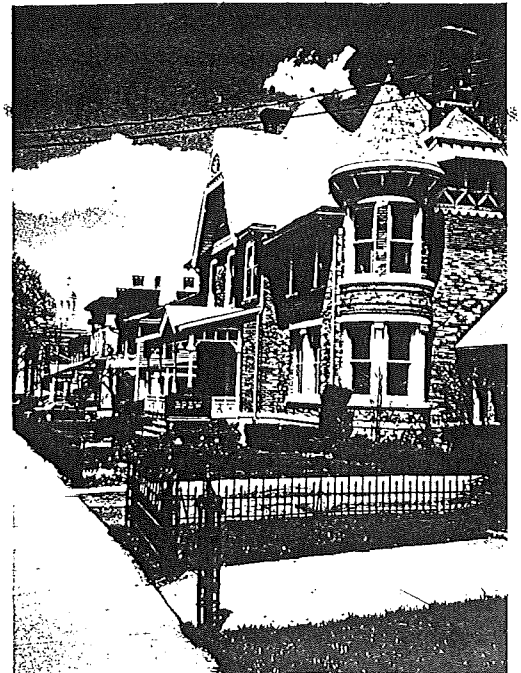
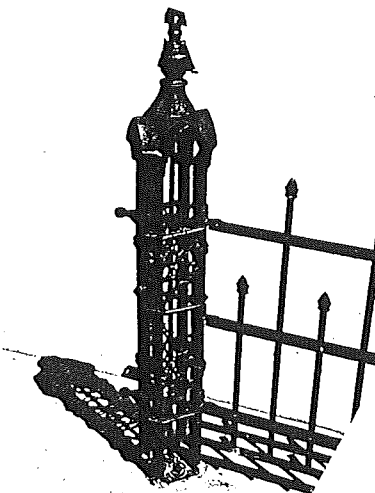
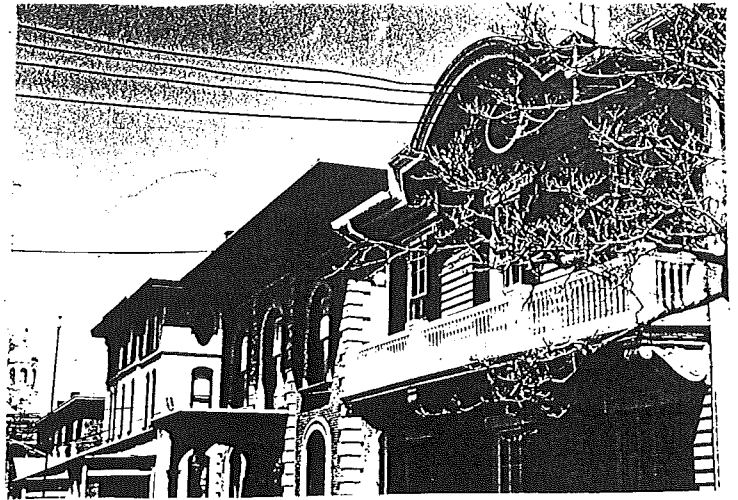
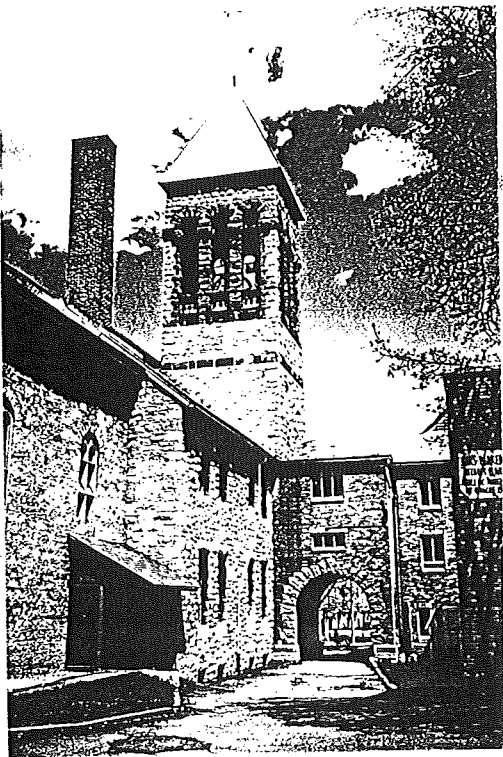
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- Consult City Planning Office regarding sidewalk improvement programs underway or available.
- Utilize City Master Plan for direction with your building or sidewalk improvements.
- Extend materials from your building facade into the sidewalk area to emphasize your entrance.
- Use brick or concrete pavers to compliment sidewalk master plan schemes.
- Add color and pattern to sidewalk areas to complement your building design.
- Contact the City regarding tree planting programs in your area.
- Contact the City Planning Department regarding benches, waste baskets, planters, kiosks and street lighting that may be available in your area.
- Use contrasting materials to signal level changes, steps or entries.
- Add colorful awnings to the streetscape.

### **AVOID...**

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- Large expanses of undefined concrete surfaces.
- Asphalt as a sidewalk finish material.
- Hexagonal asphalt composite pavers.
- Abrupt material or level changes in sidewalk surface.



BUILDING GROUPS

## **BUILDINGS GROUPS**

Certain buildings groups may have a common character or theme. Buildings of similar material, height, construction use or age may have gained special recognition by their common traits, style or use. These buildings should be restored as a set or a group, giving attention to the qualities they have in common.

### **TRY TO...**

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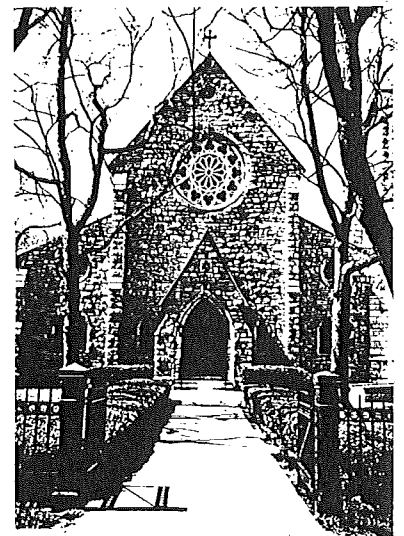
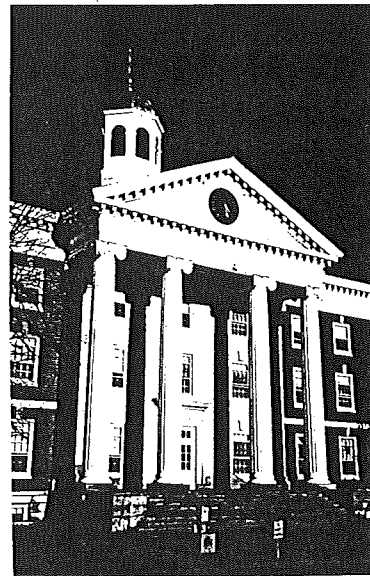
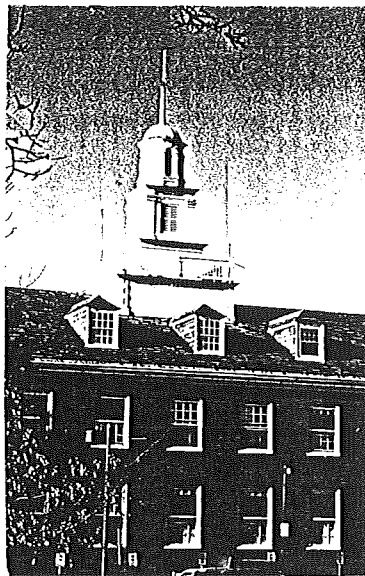
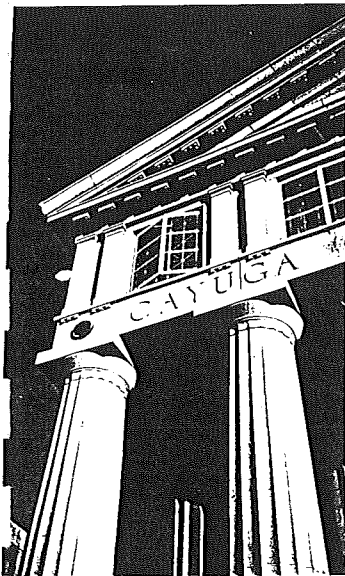
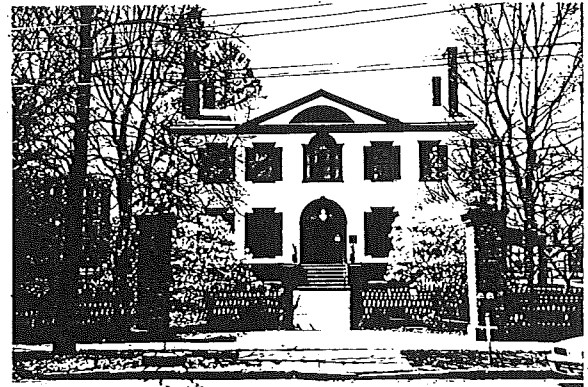
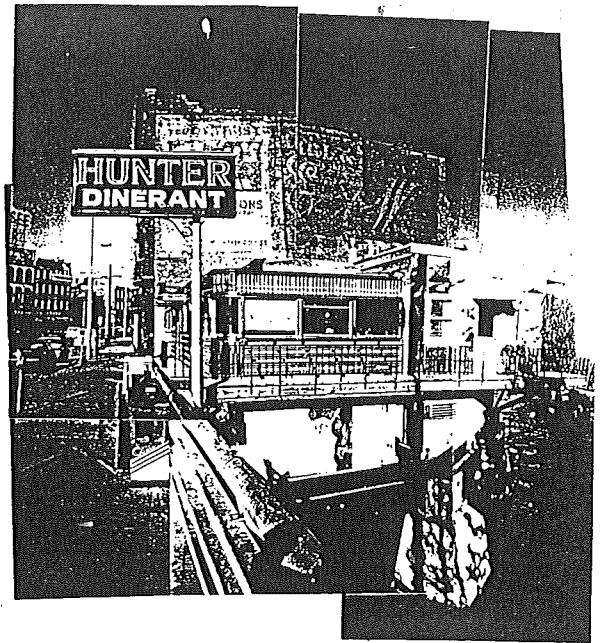
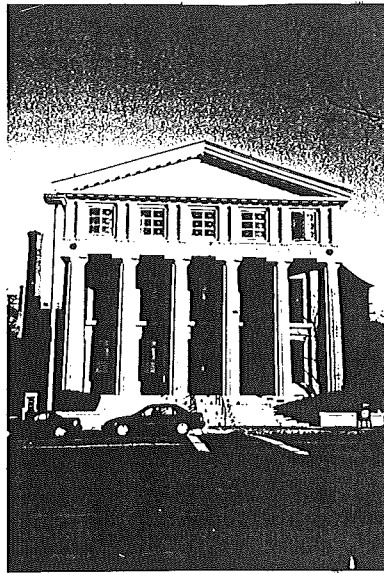
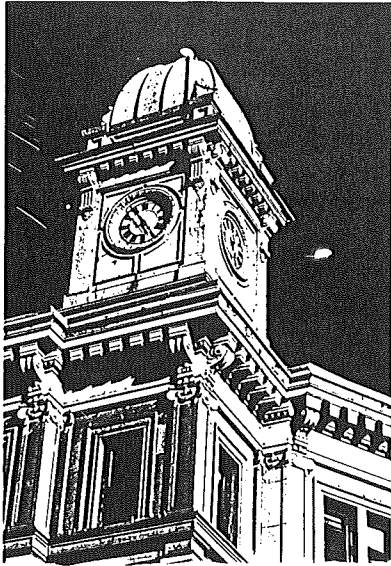
- Remove all signs and materials covering original facades.
- Develop a single color scheme to be used on trim, entrances and storefronts throughout the entire group of buildings.
- Develop a sign standard of location, size and type face to provide a common graphic approach for the building.
- Establish window trim and interior window covering appearance guidelines.
- Develop a streetscape to complement the entire group of buildings.
- Consider common awnings to be used on all individual buildings within this group.

### **AVOID...**

---

- Differentiating repetitive building bays with different paint colors (paint similar building elements a common color, thus reinforcing the whole building).
- Distinguishing individual entrances from other storefronts/entrances.
- Covering portions of existing building with signage or inappropriate storefront materials.
- Changing window types to differentiate individual bays or shops within a single building.
- Using different doors on multiple entrances within the same building.
- Using window muntins inconsistent with original or adjacent windows.





SPECIAL INDIVIDUAL BUILDINGS

## SPECIAL INDIVIDUAL BUILDINGS

Special individual buildings in the downtown area stand out by virtue of their prominence, individual architectural character, shape and form or other distinctive feature. These buildings have become the features that make Auburn's downtown unique from other downtown areas and should be maintained. These buildings can be the focus for an entire block and viewed as unique within the more common commercial building facades of the downtown streetscapes. These buildings are usually civic or religious in nature and generally of a higher design and material quality than adjacent commercial buildings.

Many of these individual buildings may have "Landmark" status or historic significance. Guidance for their preservation and maintenance is available through the Community Preservation Committee, Inc.

The area of this downtown Auburn Study includes many individual residences, religious and government buildings representing the downtown area. Although uses may have changed, their architectural quality remains a great asset to downtown Auburn. Many examples are very ornate in detail. More common buildings represent a high level of craftsmanship and functional design. These buildings, formerly service buildings, represent a standard of construction and design quality which is virtually impossible obtain today. These buildings should be featured and preserved for new use opportunities.

An example of this potential is a pair of matching stable buildings behind the Seward House. Another example is the Schines Theatre building. These are only a few of the many buildings which offer special qualities for future public activity and use.

## QUICK FIXES & VISUAL IMPROVEMENTS

- Remove any “cluttered” look from your building (anything added over original building).
- Reduce the number of applied signs to a minimum.
- If possible remove all building signage, above first floor.
- Add simple, graphic symbol sign in sign band above storefront windows.
- Use the storefront window to “frame”, a well-designed sign painted on glass.
- For unoccupied upper floors, add same color shades to all upper windows of building facade. Use color shades to accent building color scheme where appropriate.
- To save energy and provide visual consistency, staple black roll polyfilm over wood frames sized to fit within interior window recesses.
- Remove all window air conditioners from building front facade.
- Remove “modern” materials covering original building features (like storefront transoms, bulkheads below windows etc.).
- Paint all storefront trim one color (a dark or neutral color often is best).
- Consult “molded trim” catalogs for light-weight replacement cornices, columns and trim which can be installed quickly, and require low maintenance.
- Clean old masonry with “soft” and “safe” methods. (See reference The Old House Journal’s “Guide to Restoration”, among others.)
- Strip off abandoned electrical services which have been left on the building facade. (Verify with an electrician before starting removals.)

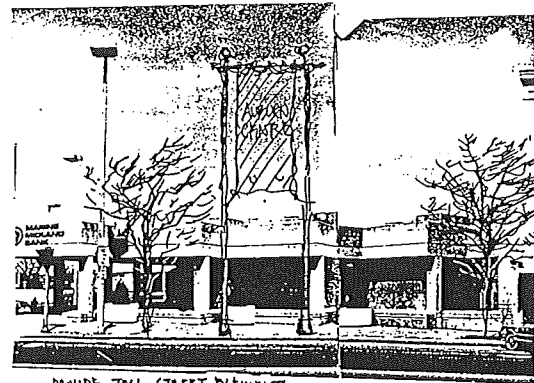
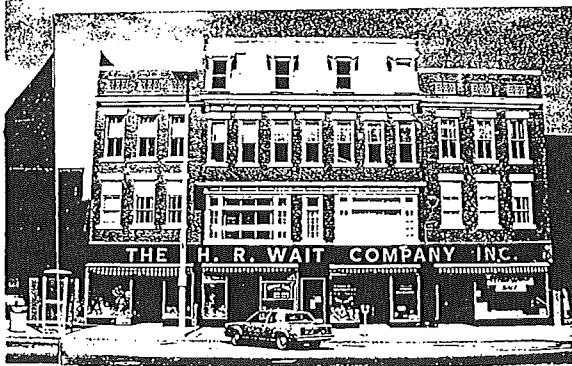


## APPENDIX:

### VISUAL ANALYSIS & RECOMMENDATIONS

#### LEARN FROM THE PAST

- SYMMETRY OF DESIGN
- RHYTHM OF WINDOW PENETRATIONS
- WINDOW PROPORTIONS (TALL, NARROW & CLOSE TOGETHER)
- FIRST FLOOR DETAIL
- UPPER FLOORS OFFSET
- CENTRAL BAY WINDOW FEATURE
- CENTRAL MANSARD ROOF FEATURE AT 4TH FL.
- SIMPLE BUT STRONG SIGNAGE
- REPRESENTATIVE SHOP FACADES - (DOOR BETWEEN 2 WINDOWS)
- 4 SHOP AWNINGS
- 2-PORT COLOR SCHEME
- PAINTED BRICK
- LANDSCAPING LEROFD



RED HIGH VISUAL INTEREST TO LOW BUILDINGS

- THIS IS A GOOD EXAMPLE OF AN INTERESTING PROPORTION SCALE WITH...
- FACADE SUBTLETS
- GOOD RHYTHM OF FACADE SURFACE AND STRUCTURE

- ONE STORY BUILDINGS OUT OF CHARACTER WITH ORIGINAL 19TH C. CITY BUILDINGS - INC. SHOPS + RESIDENCES
- CONSIDER ADDING TALL ELEMENTS TO COMPLEMENT ROOFTOP PADS.

- PROVIDE TALL STREET FURNITURE AT ONE-STOREY BUILDINGS
- o FLAGS
- o SIGNS
- o LIGHTS
- o BANNERS
- o WIND CHIMES
- o CLOCKS
- o STEREOPHONES
- o KINETIC SCULPTURE

- AWNINGS SHOULD NOT SEPARATE UPPER + LOWER PART OF BUILDING FACADE.

- STREET SCALE OF STORE FRONT SHOULD BE MODERATED + PROPORTIONED TO FIT BUILDING

- STREET SCALE OF BUILDING SHOULD FOCUS ON ENTRANCE.



MAINTAIN ORIGINAL STOREFRONT DESIGN + CHARACTER

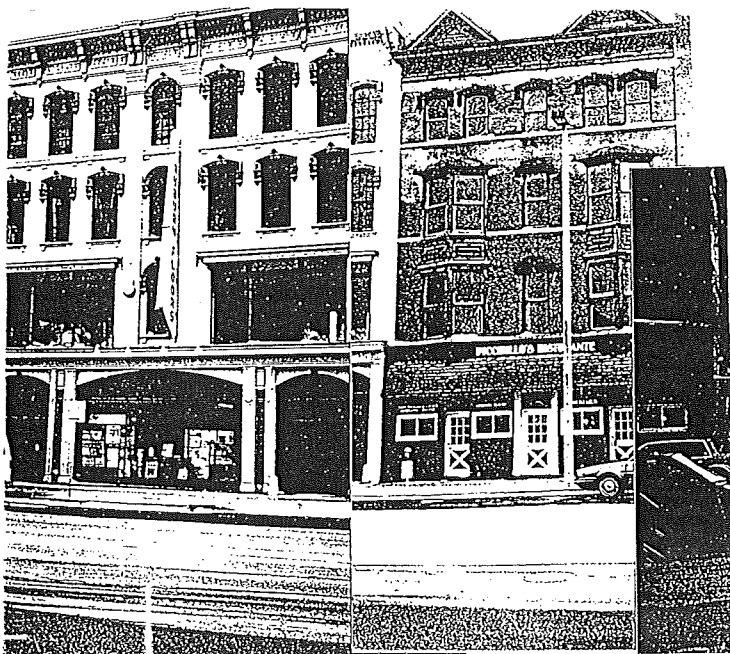
- USE ORIGINAL SCALE & PROPORTION FOR STOREFRONT DESIGN.

- UNIFY UPPER + LOWER BUILDING CHARACTER.

- AVOID USE OF "LUMBER YARD STANDARD" WINDOWS + DOORS WITHOUT DESIGN INTEGRATION

- AVOID USE OF SHINGLED MANSARD ROOFS OR AWNINGS.

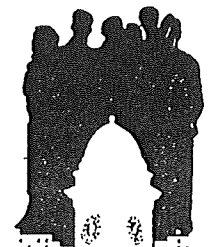
- (LEFT) - RECONFIGURE VERTICAL GLASS TO AVOID COVERING WINDOW TRIM DETAILS.



"AUTHENTIC" STRUCTURE

"MODERNIZED" STOREFRONT

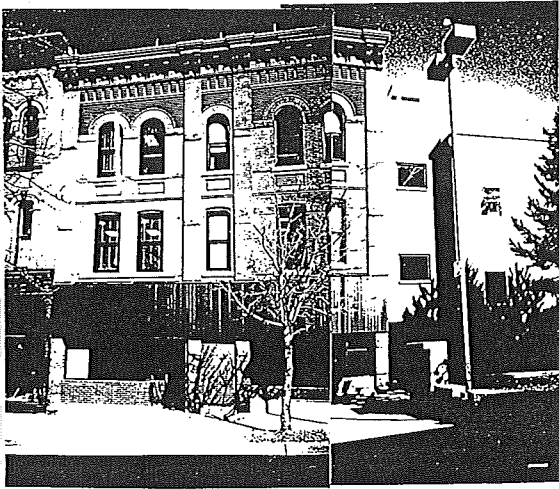
## Downtown Design Guidelines



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## APPENDIX:

### VISUAL ANALYSIS & RECOMMENDATIONS

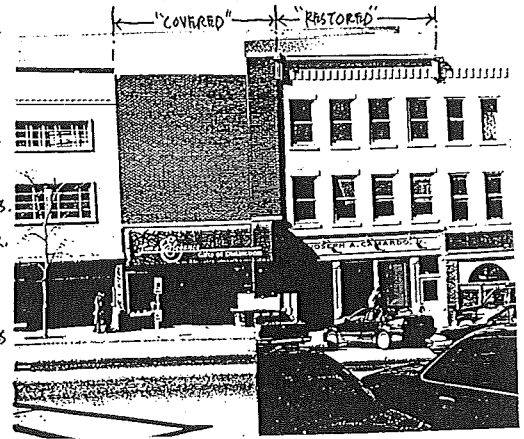


#### AVOID COVER-UPS

- SEPARATES WHAT LOWER PARTS OF SINGLE BUILDING
- MATERIAL NOT COMPATIBLE WITH BUILDING STYLE
- STRIP STOREFRONT CUPS-UP CENTRAL PORTABLE ELEMENT OF ORIGINAL BUILDING
- (3) PART LOWER LEVEL COVERED BY STRIP ELEMENT (ADJACENT BUILDING PATRONS (2) BUILDINGS OVER STOREFRONT & CENTRAL HIGHWAY)

#### RESTORE RATHER THAN COVER

- BRING BACK ORIGINAL STREET FACIAL STRUCTURE & PATTERN
- SIMPLIFY & PAINT BRICK PATTERNS
- REPLACE WINDOWS w/ RATHER DIFFICULT LOW-MANTENANCE UNITS
- RETURN 1ST FLOOR STOREFRONT CHARACTER
- ESTABLISH SIMPLE SIGNAGE & SIGNAGE LIGHTING
- AVOID BLAND, LARGE SCOR, USE OF MATERIALS WHICH DO NOT FIT NEIGHBORS



#### FEATURE "SPECIAL" ELEMENTS

- UNIQUE BUILDINGS
- LANDMARKS
- PROMINENT ELEMENTS

- BRING SPECIAL LANDSCAPING, LIGHTING SIGNAGE TO "SPECIAL" ELEMENTS
- FOCUS ON UNIQUE QUALITIES
- ADD PLANTING & PROMINENT FEATURES
- "FRAME" PICTURE



#### FEATURE WINDOW PATTERNS

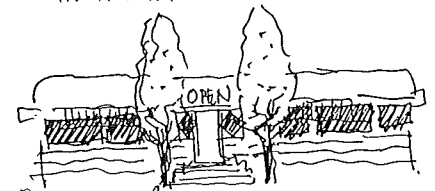
- SHAPE
- PATTERN
- COLOR
- DETAIL

#### FEATURE ENTRANCE ELEMENTS

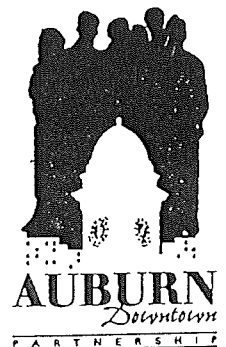
- FOCUS
- SCALE
- COLOR
- SIGNAGE



#### "FRAME" ENTRY



## Downtown Design Guidelines



## APPENDIX:

### VISUAL ANALYSIS & RECOMMENDATIONS

FEATURE  
BEST EXAMPLES  
OF ORIGINAL  
ARCHITECTURE

- DESIGN
- STOREFRONTS
- RHYTHM
- COLOR
- DETAIL
- PATTERN



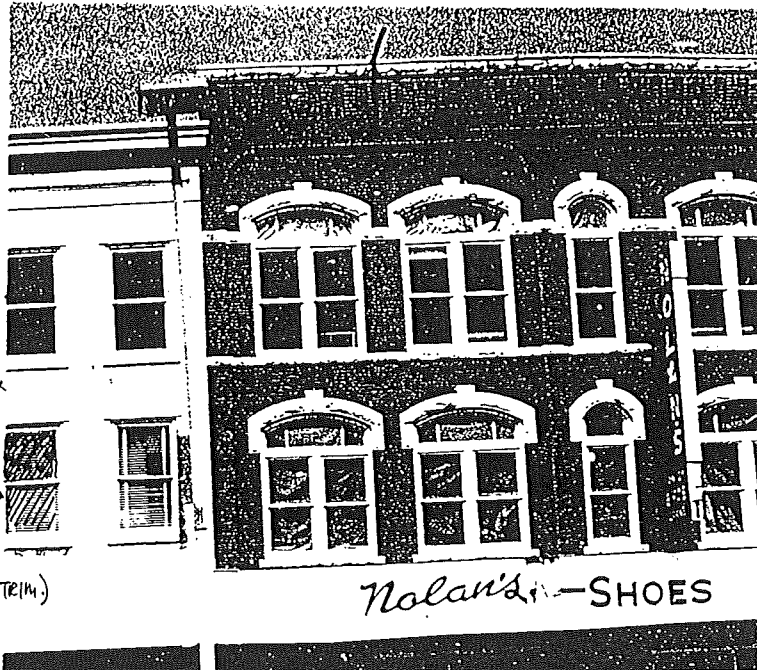
FOCUS ON "BEST"  
ARCHITECTURAL  
ELEMENTS -

- WINDOW ARCHES
- STAIR + BRICK TRIM
- INTERESTING  
PROPORTIONS

- TRY TO MAINTAIN  
SAME WINDOW  
TREATMENT IN  
INDIVIDUAL BUILDINGS

- DARK ABOVE &  
DARK BELOW  
(NOT LIGHT BLINDS)

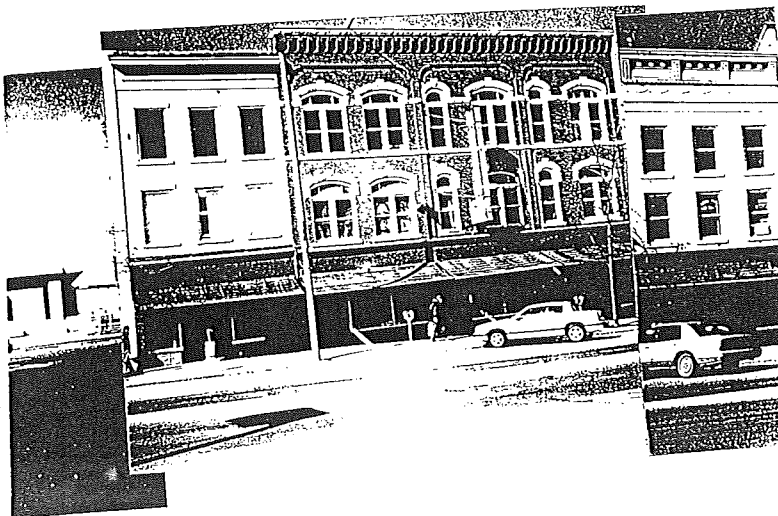
- USE SIMPLE COLOR  
SCHEMES OF 2 + 3 PER  
INDIVIDUAL BUILDING  
(BRICK, WINDOWS, BRICK TRIM)



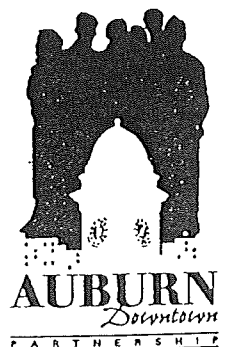
UNIFIED STOREFRONT  
DESIGN

- STANDARD HEIGHT.
- STANDARD JOINING  
DETAIL + COLOR
- LOCATE SIGNAGE  
ZONE.
- COMMON SIGNAGE  
LETTER STYLE.
- COMMON STREET  
FURNITURE

- A "WESTERN" BUREAUCRAT  
CONCEPT
- ALSO TYPICAL OF  
PRISMA TOWNS.

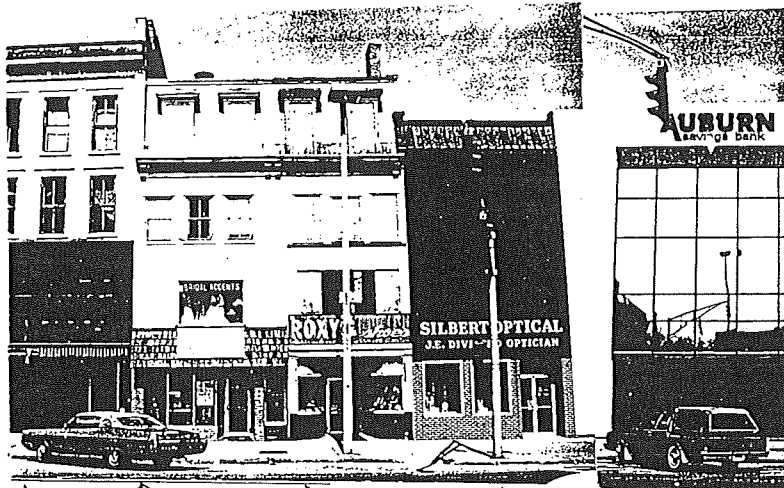


## Downtown Design Guidelines



## APPENDIX:

### VISUAL ANALYSIS & RECOMMENDATIONS



- ↑ DON'T USE PAINTING TO COVER WINDOWS.
- ↑ OMIT USE OF WOOD SHINGLES WHERE NEVER USED ORIGINALLY.
- ↑ MAINTAIN HIGH FIRST FLOOR WINDOWS + SCALE.
- ↑ SET SIGNAGE STANDARDS FOR LETTER SIZE + STYLE GUIDELINES.
- ↑ DO NOT COVER EXISTING OR ORIGINAL WINDOWS.
- ↑ RETAIN WINDOWS AS PRINCIPAL PATTERNS OF BUILDING CHARACTER.

#### SIMPLIFY FACADE MATERIALS

- USE NATURAL MATERIAL WHICH COMPLEMENT HISTORIC CONTEXT.
- DO NOT COVER ORIGINAL BLDG. FACADES.
- FEATURE ORIGINAL BUILDING STRUCTURE & WINDOW PATTERNS.
- AVOID ABRUPT CHANGE IN COURT SCALE.
- WHERE WINDOWS ARE COVERED, USE DARK PAINTED PANELS TO MAINTAIN VISUAL WINDOW PATTERNS AND FACADE.

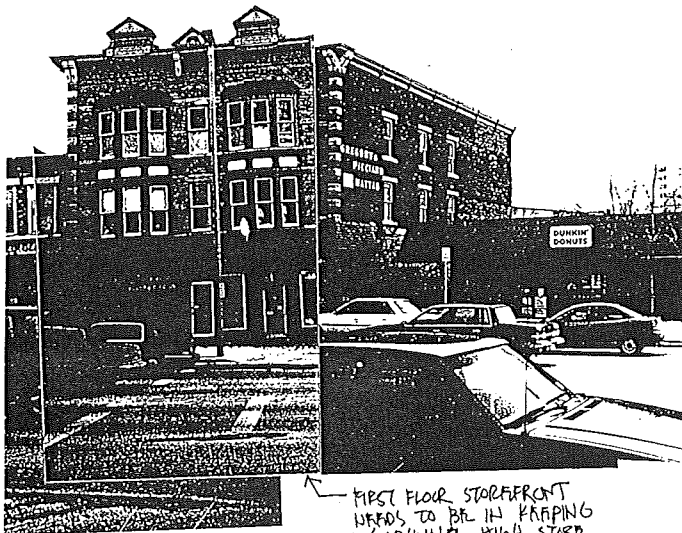
#### CREATE INTEREST AT KEY POINTS

- ADD HUMANIZING ELEMENTS @ PEDESTRIAN ZONE.
- ADD LANDSCAPING.
- FRAME ENTRANCE.
- PROPORTION STREET FACADE ELEMENTS.
- BREAK UP LARGE SCALE FACADE ELEMENTS INTO SMALLER ELEMENTS.
- ESTABLISH RHYTHMS OF FACADE SCALE WITH ADJACENT BUILDINGS.
- AVOID ABRUPT FACADE SCALE CHANGES.
- INTEGRATE STREET & SIDEWALK ELEMENTS WITH BUILDING FACADES.

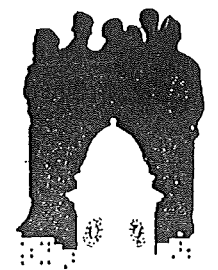


#### FOCUS ON UNIQUE ARCHITECTURAL ELEMENTS

- FORM
- PATTERN
- COLOR
- DETAIL
- FEATURE SKYLINE
- CORNICE + BRACKETS
- BAY WINDOWS
- STONEWORK
- BRICK DETAILS



- ↑ FIRST FLOOR STOREFRONT NEEDS TO BE IN KEEPING w/ ORIGINAL HIGH STORE WINDOW + ENTRANCE CHARACTER.
- ↑ COORDINATE UPPER + LOWER FACADE RENOVATION PROJECTS.



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## Downtown Design Guidelines

## USE AND EVALUATION

- List all design guidelines which help define the scope of your project.
- Consider a review of your project with related City agencies.
- Obtain recommendations on the appropriate design professionals (Architect, Landscape Architect, etc.) and contractors to provide contract documents and quotations for your project scope.
- Seek responses from neighbors and others who are also working with these Design Guidelines to broaden the experience you draw from.
- You may wish to give your suggestions supporting this guideline effort to the Auburn Downtown Partnership Office for their evaluation, consideration and future use.

## SOURCES / REFERENCES

### CONTRACTORS

- Better Business Bureau
- Contact Auburn Downtown Partnership
- Ask City Development and Historic Agencies

### DESIGN PROFESSIONALS (consult your yellow pages)

- Community Preservation Committee, Inc. (17 Nelson St., Auburn)
- American Institute of Architects.
- American Society of Landscape Architects
- Interior Design Professionals
- Renovation Professionals
- Historic Preservation Associations
- State Historic Preservation Office (SHPO)
- City and County Planning Offices
- Landmark Society of Western New York

### RENOVATION MATERIALS, STYLES & PRODUCTS

- Patricia Poore: "The Old House Journal "Guide to Restoration": Dutton Books, Penguin Grove, 1992.
- Jordan, Steve: "Rehab Rochester" Rochester: Landmark Society of Western New York, 1995.

### IDENTIFICATION OF BUILDING STYLES

- Blumenson, John "Identifying American Architecture: A Pictorial Guide to Styles and Terms 1600-1945" Nashville: American Association for State and Local History.
- Poppeliers, John; Chambers, Allen & Schwartz, Nancy "What Style Is It" Washington, D.C.: The Preservation Press, 1977.

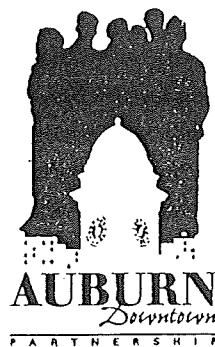
### ESTABLISHING GUIDELINES

- City of Lowell: "Lowell, The Building Book": Lowell Massachusetts: Division of Planning and Development 1982
- Preclasco, Janice "Developing Downtown Design Guidelines" Sacramento: California Main Street Program 1988.

### SAFETY (Contact your County or City Health Departments)

- Verify lead content of old paints and piping.
- Verify insulation materials, especially furnace and duct insulation before removing.
- Obtain removal consultant quotations to insure safety of occupants, and works as well as assuring proper disposal procedures.

## *Downtown Design Guidelines*



Prepared for: AUBURN DOWNTOWN PARTNERSHIP  
P.O. BOX 1465  
AUBURN, NEW YORK 13021  
(315) 252-7141

Susan Marteney  
Downtown Manager

Prepared by: QUINLIVAN, PIERIK & KRAUSE  
ARCHITECTS/ENGINEERS/PLANNERS  
P.O. BOX 29  
450 S. SALINA STREET  
SYRACUSE, NEW YORK 13201  
(315) 472-7806

Robert M. Haley, Jr. AIA, Architect  
Carl Jahn, Landscape Architect

1996

## *Downtown Design Guidelines*

